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PLANNING COMMITTEE

Tuesday, 25th June, 2019 at 7.30 pm
Venue: Conference Room
Civic Centre, Silver Street,
Enfield EN1 3XA

Contact: Jane Creer / Metin Halil
Committee Administrator
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Council website: www.enfield.gov.uk

MEMBERS

Councillors : Mahmut Aksanoglu (Chair), Sinan Boztas (Vice-Chair),
Mahym Bedekova, Chris Bond, Elif Erbil, Ahmet Hasan, Tim Leaver, Hass Yusuf,
Michael Rye OBE, Jim Steven and Maria Alexandrou

**N.B. Any member of the public interested in attending the meeting
should ensure that they arrive promptly at 7:15pm**

**Please note that if the capacity of the room is reached, entry may not be
permitted. Public seating will be available on a first come first served basis.**

**Involved parties may request to make a deputation to the Committee by
contacting the committee administrator before 12:00 noon on 24/06/19**

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTEREST**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non-pecuniary interests relevant to items on the agenda.

- 3. MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 21 MAY 2019**

To receive the minutes of the Planning Committee meeting held on Tuesday 21 May 2019.

(TO FOLLOW)

- 4. REPORT OF THE HEAD OF PLANNING (REPORT NO.37) (Pages 1 - 2)**

To receive the covering report of the Head of Planning.

- 5. 19/01204/RE4 - BLISS HOUSE , 1 HOLBROOK CLOSE, ENFIELD, EN1 4UL (Pages 3 - 60)**

RECOMMENDATION: That planning permission be granted, subject to conditions
WARD: Chase

- 6. 18/03659/FUL - HONEYSUCKLE HOUSE, 1A OAKTHORPE ROAD, LONDON, N13 5HY (Pages 61 - 92)**

RECOMMENDATION: That planning permission be granted, subject to conditions and completion of Section 106 Agreement.
WARD: Palmers Green

- 7. 19/01205/RE4 - PURCELL HOUSE, 2 HOLBROOK CLOSE, ENFIELD, EN1 4UQ (Pages 93 - 150)**

RECOMMENDATION: That planning permission be granted, subject to conditions.
WARD: Chase

MUNICIPAL YEAR 2019/2020 - REPORT NO 37

COMMITTEE:
PLANNING COMMITTEE
25.06.2019

REPORT OF:
Head of Planning

Contact Officer:
Planning Decisions Manager
David Gittens Tel: 020 8379 8074
Kevin Tohill Tel: 020 8379 5508

AGENDA - PART 1	ITEM 4
SUBJECT - MISCELLANEOUS MATTERS	

4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

4.1.1 In accordance with delegated powers, 394 applications were determined between 07/05/2019 and 12/06/2019, of which 298 were granted and 96 refused.

4.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

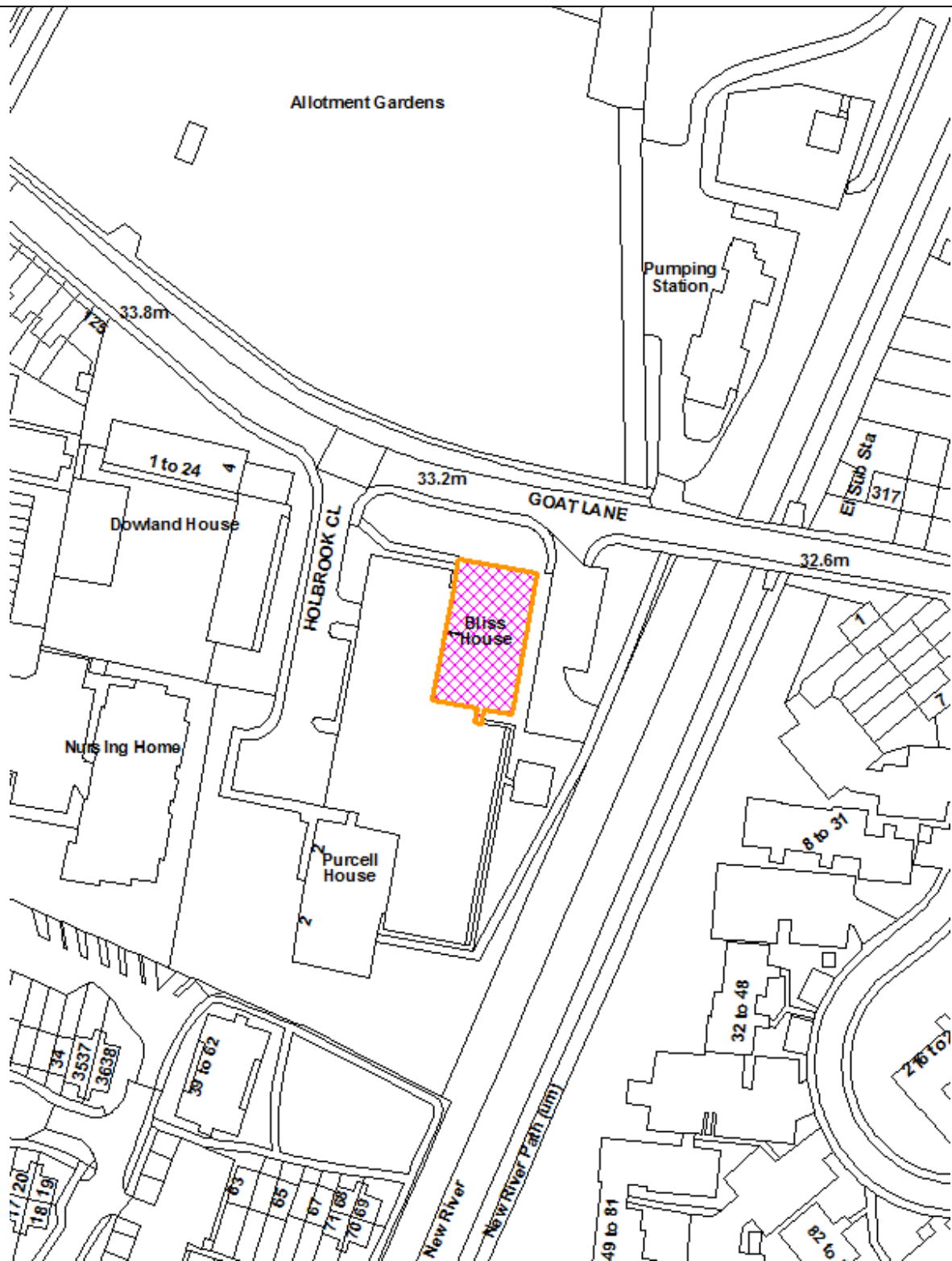
Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date :** 25th June 2019**Report of**
Head of Planning**Contact Officer:**
Andy Higham
Gideon Whittingham
Tel No: 02083798169**Ward:**
Chase**Ref:** 19/01204/RE4**Category:** LBE - Dev by LA**LOCATION:** Bliss House , 1 Holbrook Close, Enfield, EN1 4UL**PROPOSAL:** Replacement of existing cladding to north and south elevations.**Applicant Name & Address:**Mr D Edney
Silver Street
Enfield
EN1 3XA
United Kingdom**Agent Name & Address:**Darren Barnes
C/o 8 Coningsby Bank
St.Albans
AL1 2NX
United Kingdom**RECOMMENDATION:****That planning permission be GRANTED subject to conditions.**

Ref: 19/01204/RE4 LOCATION: Bliss House , 1 Holbrook Close, Enfield, EN1 4UL



1. Note for Members

- 1.1 Although a planning application for this type of development could normally be determined under delegated authority, the application has been brought to the Planning Committee because the applicant and landowner is Enfield Council.

2.0 Recommendation / Conditions

- 2.1 That in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions:

1. TIME LIMIT

2. DEVELOPMENT IN ACCORDANCE WITH PLANS

EC/BH/001 (Location Plan); EC/BH/002 (Existing Elevations); EC/BH/003 (Proposed Elevations)

3. MATERIALS TO MATCH THOSE SPECIFIED

- 2.2 It is also requested that authority to finalise the wording of conditions under the above headings, is given to officers to ensure they reflect any issues raised by Planning Committee and / or any reported updates to the meeting.

3. Executive Summary

- 3.1 Following investigations by the Council in 2018, it identified that the cladding system on Bliss House, Purcell House and Walbrook House was not appropriate for buildings of their height and type in respect of fire safety.

- 3.2 The Council immediately committed to removing the existing cladding system and install a new long-term replacement cladding system for the exterior of the blocks. This application is submitted as a result of this decision.

- 3.3 The replacement cladding system shall match the appearance to those used in the construction of the exterior of the existing blocks.

- 3.4 The reasons for recommending approval of this application are:

- It is considered that the principle of the replacement cladding is appropriate given its detailed design;
- The replacement cladding would not have a detrimental impact on the character and appearance of the building, the wider street scene and the setting of the adjacent Forty Hill Conservation Area;
- The replacement cladding would not harm the amenity of occupying and neighbouring residents;

- The proposal is in keeping with the sustainability objectives to ensure the longevity of the building and minimise the energy consumption of the building;
- The development would be appropriate and in accordance with relevant National and Regional Policy, Core Strategy and DMD policies.

4. Site & Surroundings

- 4.1 The application site relates to a purpose built housing estate located on the east side of Holbrook Close, close to the southern junction with Goat Lane.
- 4.2 The housing estate incorporates two towers, Purcell House and Bliss House. Both towers are 12 storeys, that are identical in plan form.
- 4.3 The ground floor forms a concrete base with struts around the periphery resulting in high visual permeability at this level. The upper floors are solid, with the longer east and west elevations forming the primary frontages serving habitable rooms onto concrete faced balconies that do not comprise a cladding system.
- 4.4 The north and south elevations form the shorter flank ends, comprising a cladding system (which has since been removed) punctured with fenestration.
- 4.5 The site itself is not located within a Conservation Area, however the Forty Hill Conservation Area is located to the north, beyond Goat Lane.
- 4.6 The site is located to the west of New River, identified as a Wildlife Corridor.

5. Proposal

- 5.1 The north and south elevations of the Bliss House would be clad in silicone render panels with non-combustible mineral wool insulation in the cavity between the cladding and the existing concrete walls.
- 5.2 The proposed cladding would of a similar colour to that previously, namely pink (NCS Colour S1010-Y70R) and crème (NCS Colour S0507-Y).
- 5.3 The removed cladding system on the north and south elevations included mineral wool insulation, however this was applied off a roll and laid in the cavity between the cladding and the existing concrete wall. The replacement cladding system is a fixed mineral wool and non-combustible panel system to address current requirements.
- 5.4 The proposed cladding would sit 150mm from the existing concrete walls to satisfy thermal performance
- 5.5 All existing fenestration would remain unchanged, however newly incorporated cills and external extractor fan grilles are to be installed.

- 5.6 The proposed cladding would not require relocated/replacement flues or smoke vents (AOVs) as such fixtures are not located on the north and south elevations of the tower
- 5.7 The associated changes proposed are still subject to ongoing consultation discussions with occupiers. If an alteration is required, this is something that could be dealt with via a minor or non-material amendment to the application.

6. Consultation

6.1 Statutory and Non-Statutory Consultees

London Fire Brigade: Any comment received will be reported at the meeting.

6.2 Public:

- 6.3 Consultation letters were sent to 209 occupiers within Bliss House and adjoining and nearby occupiers.
- 6.4 To date no objections have been received from residents from either planning consultation.

7. Relevant Planning History

- 7.1 No relevant planning history

8. Relevant Planning Policies

London Plan (2016)

- Policy 3.5: Quality and design of housing developments
- Policy 3.14: Existing Housing Stock
- Policy 5.2: Minimising carbon dioxide emissions
- Policy 5.3: Sustainable design and construction
- Policy 6.3: Assessing effects of development on transport capacity
- Policy 7.4: Local Character
- Policy 7.6: Architecture

Core Strategy (2010)

- Core Policy 4: Housing quality
- Core Policy 5: Housing types
- Core Policy 20: Sustainable energy use and energy infrastructure
- Core Policy 21: Delivering sustainable water supply, drainage and sewerage infrastructure
- Core Policy 22: Delivering sustainable waste management
- Core Policy 25: Pedestrians and cyclists
- Core Policy 30: Maintaining and improving the quality of the built and open environment
- Core Policy 31 - Built and landscape heritage

- Core Policy 32: Pollution
- Core Policy 46: Infrastructure contributions

Development Management Document (2014)

- DMD 8: General Standards for New Residential Development
- DMD 37: Achieving High Quality and Design-Led Development
- DMD48: Transport Assessments
- DMD 51: Energy Efficiency Standards
- DMD 68: Noise

Other Policy

- National Planning Policy Framework 2018 (NPPF)
- National Planning Practice Guidance 2016 (NPPG)
- Draft London Plan (2018)
- Forty Hill Conservation Area Character Appraisal (2015)
- Forty Hill Conservation Area Management Proposals (2015)

9. Analysis

- 9.1 The principal considerations material to the determination of this application are considered in the following sections of this report:

9	Consultation and procedure <ul style="list-style-type: none"> - Background - Procedure - Consultation
10	Principle of development <ul style="list-style-type: none"> - Principle - Program of work
11	Design <ul style="list-style-type: none"> - Policy review - Materials and detailed design - Effect on setting of Conservation Area - Conclusion
12	Impact on occupying and neighbouring amenity <ul style="list-style-type: none"> - Policy review - Occupiers of Purcell House - Neighbour Amenity - Conclusion
13	Sustainable design and construction <ul style="list-style-type: none"> - Policy review - Thermal performance Living roofs/walls - Conclusion

14	Transport <ul style="list-style-type: none"> - Policy review - Implementation - Construction management
15	Community Infrastructure Levy (CIL)
16	Conclusion

Consultation and procedure

Background

- 9.2 Following the Grenfell fire in June 2017 the Ministry of Housing, Communities and Local Government (MHCLG), formerly the Department for Communities and Local Government (DCLG), and the Building Research Establishment (BRE) have introduced a programme of testing of various cladding systems.
- 9.3 The Council commissioned Fire Engineers (M10 Fire Engineering) who undertook investigations in 2018 and identified that the cladding system on Bliss, Purcell and Walbrook House did not sufficiently resist the spread of flames meaning this type of cladding system is not appropriate for these buildings.
- 9.4 The Council, along with the contractor ENGIE, immediately committed to removing the cladding system from all three blocks as soon as the Fire Engineers indicated that the cladding system had failed their tests. This has now been completed system across the three blocks, with the meanwhile safety of the residents and buildings secured by the Council's Housing Fire Safety Team.
- 9.5 In order to ensure that the same levels of thermal insulation and water resistance are maintained as provided by the prior cladding system, the Council needs to procure and install a new long-term replacement cladding system for the exterior of the blocks.
- 9.6 For information, inspection of the installed replacement cladding system would be undertaken by the Council's appointed Clerk of Works, the Fire Safety Team and Fire Engineers (M10 Fire Engineering) and the Building Control team, however these are matters for Building Control rather than planning control.

Procedure

- 9.7 Planning Committee is in effect required to consider this application on the same footing as any other application, notwithstanding the fact that it concerns Council owned property. Hence in determining this application, as with any other application, Planning Committee must base its decision solely on planning considerations. It cannot take into account or base any reason for approval or refusal on a consideration not relevant to planning. In making its decision, the Committee is required to have regard to the provisions of its Development Plan

(Enfield's 2010 Core Strategy and 2014 Development Management Document) and the London Plan 2016 and associated policies and guidance. The determination must be made in accordance with the Plan unless material considerations indicate otherwise.

- 9.8 Therefore notwithstanding the exceptional circumstances surrounding this issue and this application, the assessment by Planning Committee's can only consider planning issues. The building regulations prescribe very detailed design and construction standards for buildings to ensure health and safety (including fire safety) of people in or about those buildings. Therefore, precise details of how a development is actually built, the quality of work, whether it is safe, or the extent to which it resists spread of fire, are all primarily matters for Building control rather than planning control. Nevertheless, there is some overlap between the two regimes. One illustration of this overlap is that Policy D11(Fire Safety) of the draft New London Plan states development must achieve the highest fire safety standards and incorporate appropriate features to reduce risk to life in the event of fire.
- 9.9 However it should be noted it would be advisable to accord draft Policy D11 only limited weight at this stage taking account of the fact that it has yet to be adopted. It is also relevant that the draft Policy covers matters in respect of which Building Regulations already impose such extensive control (fire safety).

Consultation

- 9.10 This planning application as with any other application has been subject to its own consultation as set out in section 5 of this report. However, in addition to that statutory consultation, the Council as applicant has made it clear that the content of the application has been shaped by resident engagement to ensure residents' views are taken into account. The Council in its corporate capacity has also undertaken extensive consultation with residents and continues to do so. Whilst the Council as planning authority has a legal duty to determine any application in the form it is submitted, the content of the application has been shaped by resident consultation which is ongoing. Planning officers have also worked with officers representing the Council as landlord to ensure the application seeks to address all key issues and concerns.

Principle of development

- 9.11 The principle of replacing the existing cladding system with a cladding of a similar material appearance is considered acceptable. The cladding will improve the energy performance of the building, whilst maintaining the building and its appearance.
- 9.12 Policy D11 (Fire Safety) of the draft New London Plan notes development proposals must achieve the highest standards of fire safety and ensure appropriate features are incorporated into the design of development to reduce the risk to life in the event of a fire and construction in an appropriate way to minimise the rise of fire spread. Although the new London Plan has not formally been adopted at this time and holds limited weight at this time, consideration has

been given to this issue. The primary regulatory control in this matter is through Building Regulations, but following internal consultation, the proposed cladding's impact on the fire safety of the building is nonetheless considered acceptable and controllable under the Building Regulations in accordance with draft policy D11.

Design

Materials and detailed design

- 9.13 The replacement cladding would be of a material that is similar in appearance to that previous, both in terms of colour, finish, form and panel arrangement and would therefore respect its intended function and be inappropriate to its context, in accordance with the objectives of DMD8 and DMD37.
- 9.14 The associated alterations, including the introduction of cills to windows is both a functional and suitably detailed addition that would be sympathetic to the replacement cladding and the character and appearance of the host building.
- 9.15 No further changes would be required to the existing fenestration or their openings.

Effect on setting of Conservation Area

- 9.16 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") is relevant. Section 72(1) requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area when considering applications relating to land or buildings within that Area.
- 9.17 The site itself is not located within a Conservation Area, however the Forty Hill Conservation Area is located to the north, beyond Goat Lane, from which views of Bliss House are experienced.
- 9.18 Given the proposed colour, finish, form and panel arrangement would not appear significantly different to the previous cladding, it is considered that no harm would be caused to the character and appearance of the Forty Hill Conservation Area.

Conclusion

- 9.19 It is considered that the principle of the replacement cladding is appropriate given its detailed design.
- 9.20 The replacement cladding would not have a detrimental impact on the character and appearance of the building, the wider street scene and the setting of the adjacent Forty Hill Conservation Area.

Impact on occupying and neighbouring amenity

Occupiers of Bliss House

- 9.21 The proposed cladding, by its very nature and replacing the same form and position of existing panels, would not result in harm to the existing residents amenity levels, in respect of outlook, privacy and access to daylight/sunlight.

Neighbour Amenity

- 9.22 Given the nature of the proposed development replacing the same form and position of existing panels, recladding Bliss House would not result in harm to the resident's amenity levels who neighbour the site, in respect of outlook, privacy and access to daylight/sunlight.

Conclusion

- 9.23 The replacement cladding would not harm the amenity of occupying and neighbouring residents.

Sustainable design and construction

- 9.24 London Plan policies 5.2 and 5.3 and policies DMD 51: Energy Efficiency Standards seek to secure energy efficiencies and reduce the emissions of CO2.

Thermal performance

- 9.25 In accordance with the objectives of the London Plan and DMD 51, the development would improve the thermal performance of the building to minimise energy consumption.

Conclusion

- 9.26 The proposal is in keeping with the sustainability objectives to ensure the longevity of the building and minimise the energy consumption of the building.

Transport

- 9.27 London Plan policies 5.2 and 5.3 and policies DMD 48: Transport Assessments seek to ensure for safe and legal delivery, collection, construction and servicing.

- 9.28 In relation to the transport impact of the proposed development, the only consideration is the construction impact.

- 9.29 The site is currently under scaffolding due to the existing cladding having already been removed. Associated portacabins are located within the grounds of the estate, as are vehicles associated with the works. With an anticipated programme time of 22 weeks and the removal of existing cladding having already been complete, the nature and limited scale of the proposal to come would not generate significant movement of goods or materials. Officers are therefore satisfied that appropriate measures could be taken to minimise the impact on the surrounding highway network and neighbour amenity, such as signing up to the Considerate Constructors Scheme. The applicant will be required to apply for parking bay suspensions to allow for construction vehicles and skips to occupy

existing parking bays. An informative is recommended to advise the applicant of this requirement.

Community Infrastructure Levy (CIL)

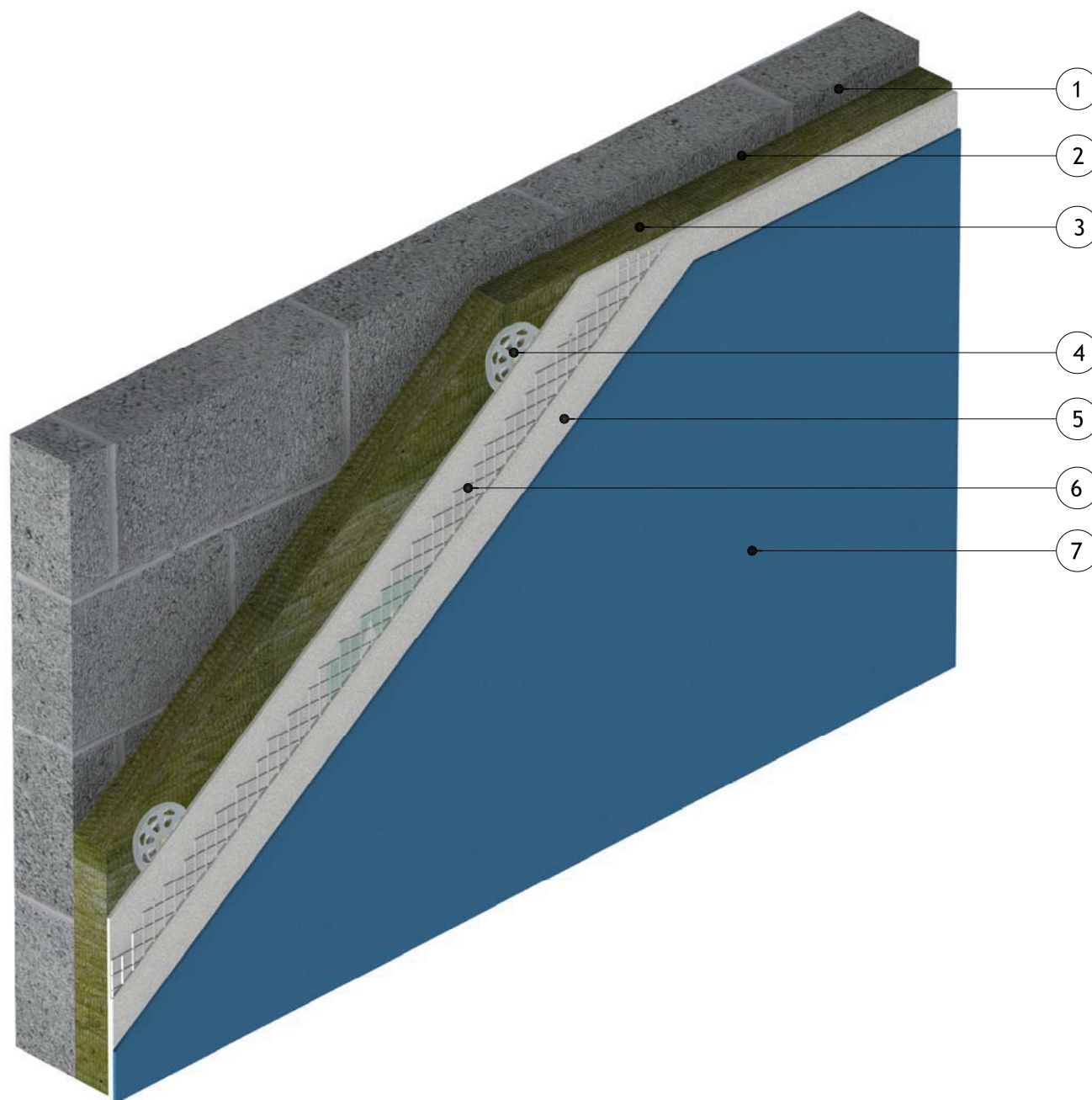
- 9.30 Given the nature of the proposals the development would not be liable for either the Mayoral or Enfield CIL, as there would be no increase in floorspace nor creation of any additional residential units.

10. Conclusion

- 10.1 It is considered that the principle of the replacement cladding is appropriate given its detailed design. The replacement cladding would not have a detrimental impact on the character and appearance of the building, the wider street scene and the setting of the adjacent Forty Hill Conservation Area.
- 10.2 The replacement cladding would not harm the amenity of occupying and neighbouring residents.
- 10.3 The proposal is in keeping with the sustainability objectives to ensure the longevity of the building and minimise the energy consumption of the building.
- 10.4 The development would be appropriate and in accordance with relevant National and Regional Policy, Core Strategy and Development policies and for the reasons noted above.

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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 Website: www.alumascfacades.com
 E-mail: info@alumascfacades.com

Drawing title:
**Silkolitt Pro EWI System
 Isometric Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-001

Scale:
NTS

Revision:

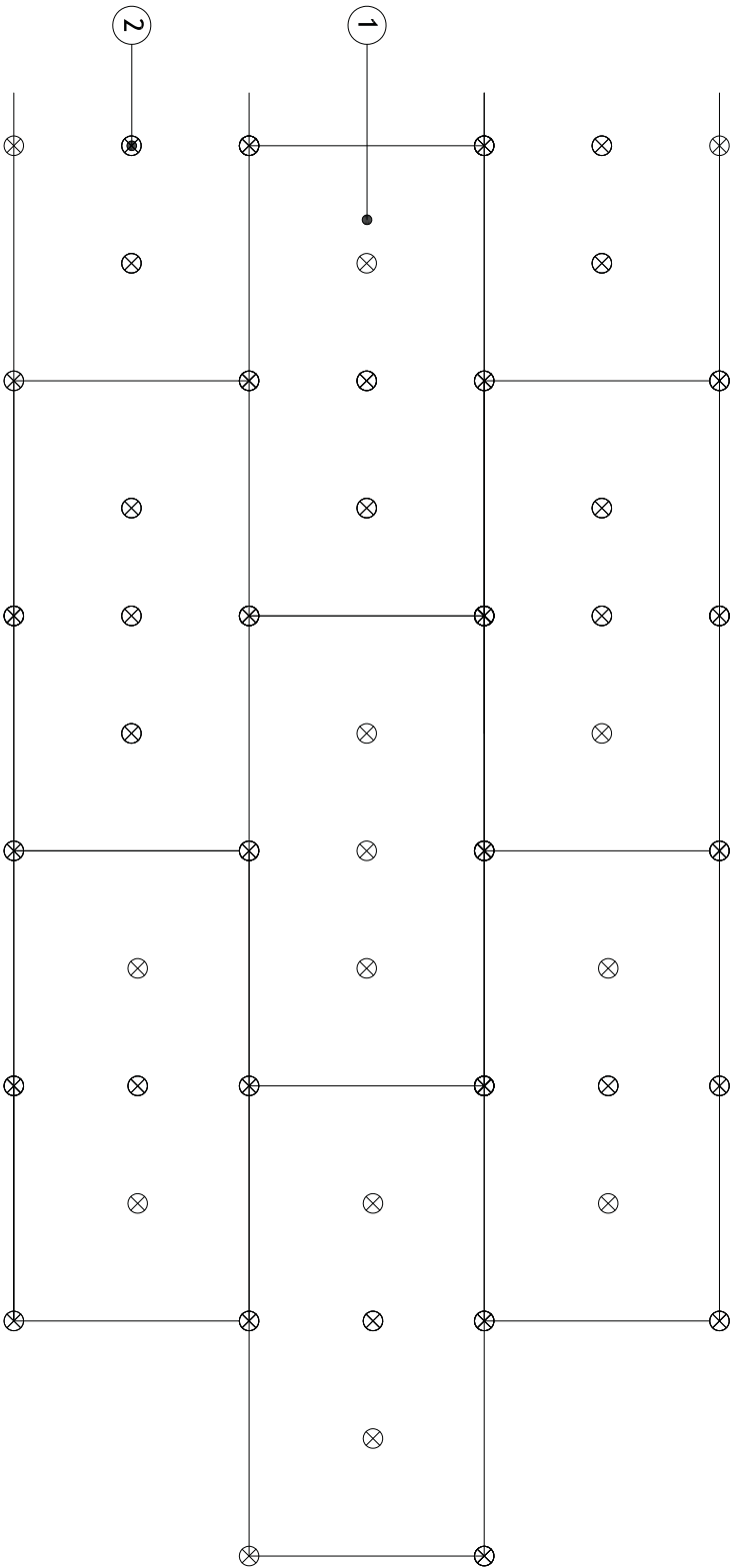
Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

Items:-

- 1 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 2 - Alumasc Approved Mechanical fixing (as per specification)



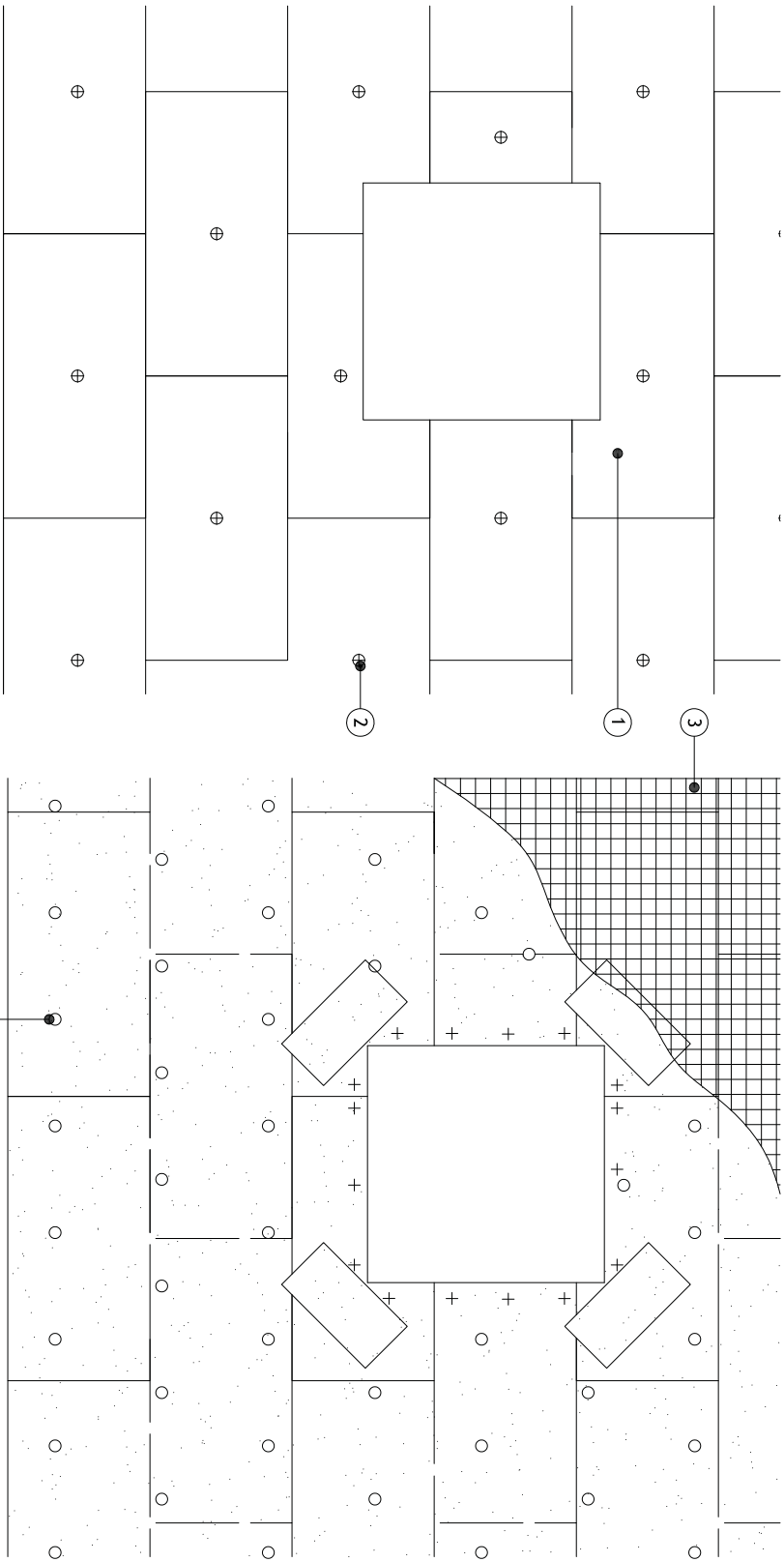
Notes:

- 1 - Refer to Alumasc E.B.P. Ltd for Technical Assistance regarding specification, fixing type and project specific fixing pattern.
- 2 - Main area elevations to follow 6.94 mechanical fixings per m2
- 3 - Min. 200mm bond overlap.
- 4 - Fixings at 300mm centres at external corners and openings.

<p>ALUMASC EXTERIOR BUILDING PRODUCTS LTD</p> <p>White House Works, Bold Road, Sutton</p> <p>St Helens, Merseyside, WA9 4JG, UK</p> <p>Telephone: +44 (0)1744 648400</p> <p>Facsimile: +44 (0)1744 648401</p> <p>Website: www.alumascfacades.co.uk</p> <p>E-mail: technical@alumasc-exterior.co.uk</p>		<p>Drawing title:</p> <p>Silkolitt Pro EWI System</p> <p>Low Rise Fixing Pattern Detail</p> <p>Detail is valid only when approved by the Architect / Contractor concerned</p>	
<p>Drawing No:</p> <p>S-PRO-M-100</p>		<p>Scale:</p> <p>NTS</p>	
<p>Revision:</p>		<p>Date:</p> <p>01.08.2017</p>	


Items:-

- 1 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 2 - Alumasc Approved Mechanical fixing (as per specification)
- 3 - Alumasc Scrim Reinforcement bedded into Alumasc Base Coat



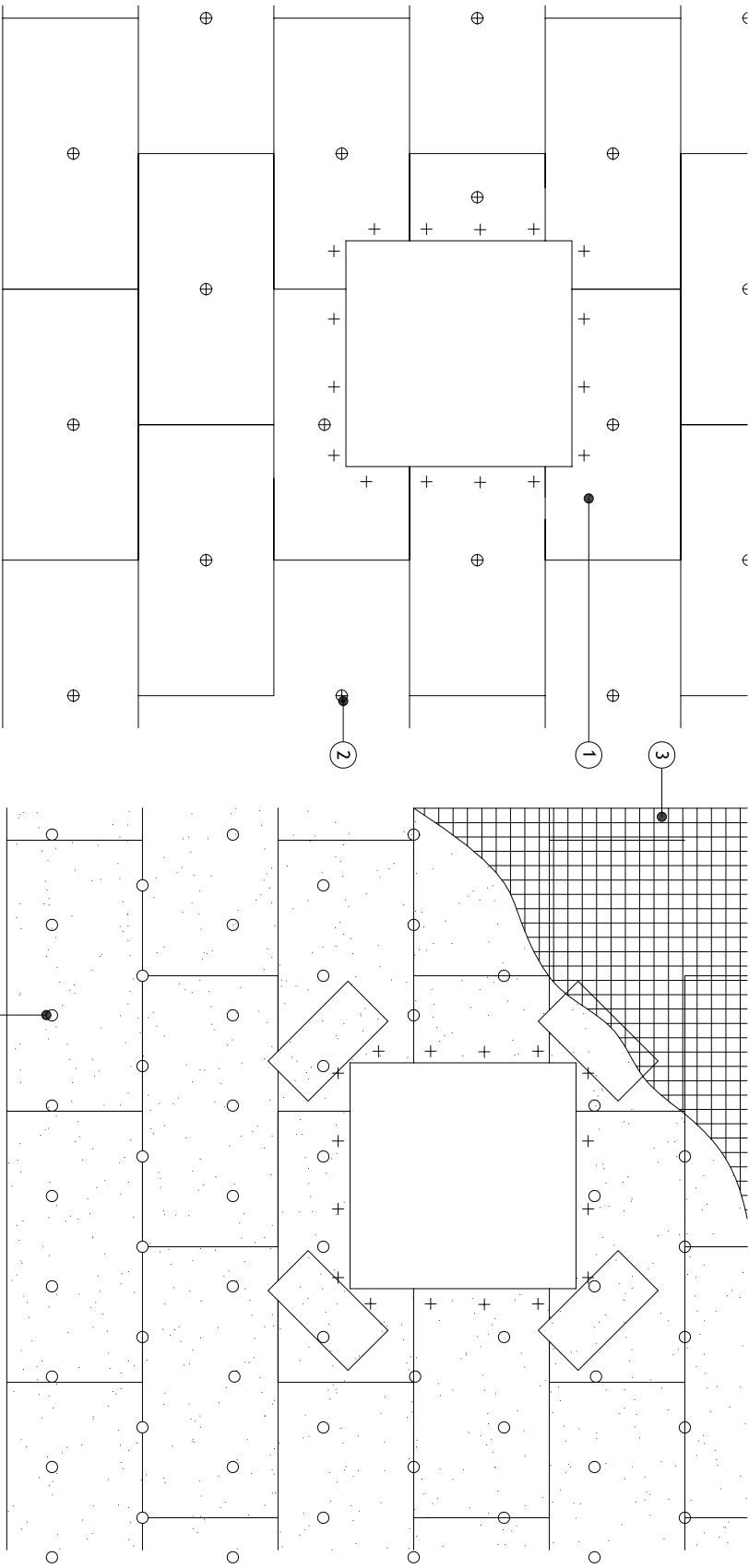
Notes:

- 1 - Refer to Alumasc E.B.P. Ltd for Technical Assistance regarding specification, fixing type and project specific fixing pattern.
- 2 - Main area elevations to follow 1 mechanical fixings through the centre of the board and then 450mm centres through the scrim. TBC by Structural Engineers report.
- 3 - Min. 200mm bond overlap.
- 4 - Fixings at 300mm centres at external corners and openings.

 <p>ALUMASC FACADES</p>		<p>ALUMASC EXTERIOR BUILDING PRODUCTS LTD White House Works, Bold Road, Sutton St Helens, Merseyside, WA9 4JG, UK Telephone: +44 (0)1744 648400 Facsimile: +44 (0)1744 648401 Website: www.alumascfacades.co.uk E-mail: technical@alumasc-exteriors.co.uk</p>		<p>Drawing title: Silkoitt Pro EWI System Medium Rise Fixing Pattern Detail Detail is valid only when approved by the Architect / Contractor concerned</p>		<p>Drawing No: S-PRO-M-101</p>		<p>Scale: NTS</p>	
<p>Revision:</p>		<p>Date: 01.08.2017</p>		<p>© Copyright reserved</p>					


Items:-

- 1 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 2 - Alumasc Approved Mechanical fixing (as per specification)
- 3 - Alumasc Scrim Reinforcement bedded into Alumasc Base Coat

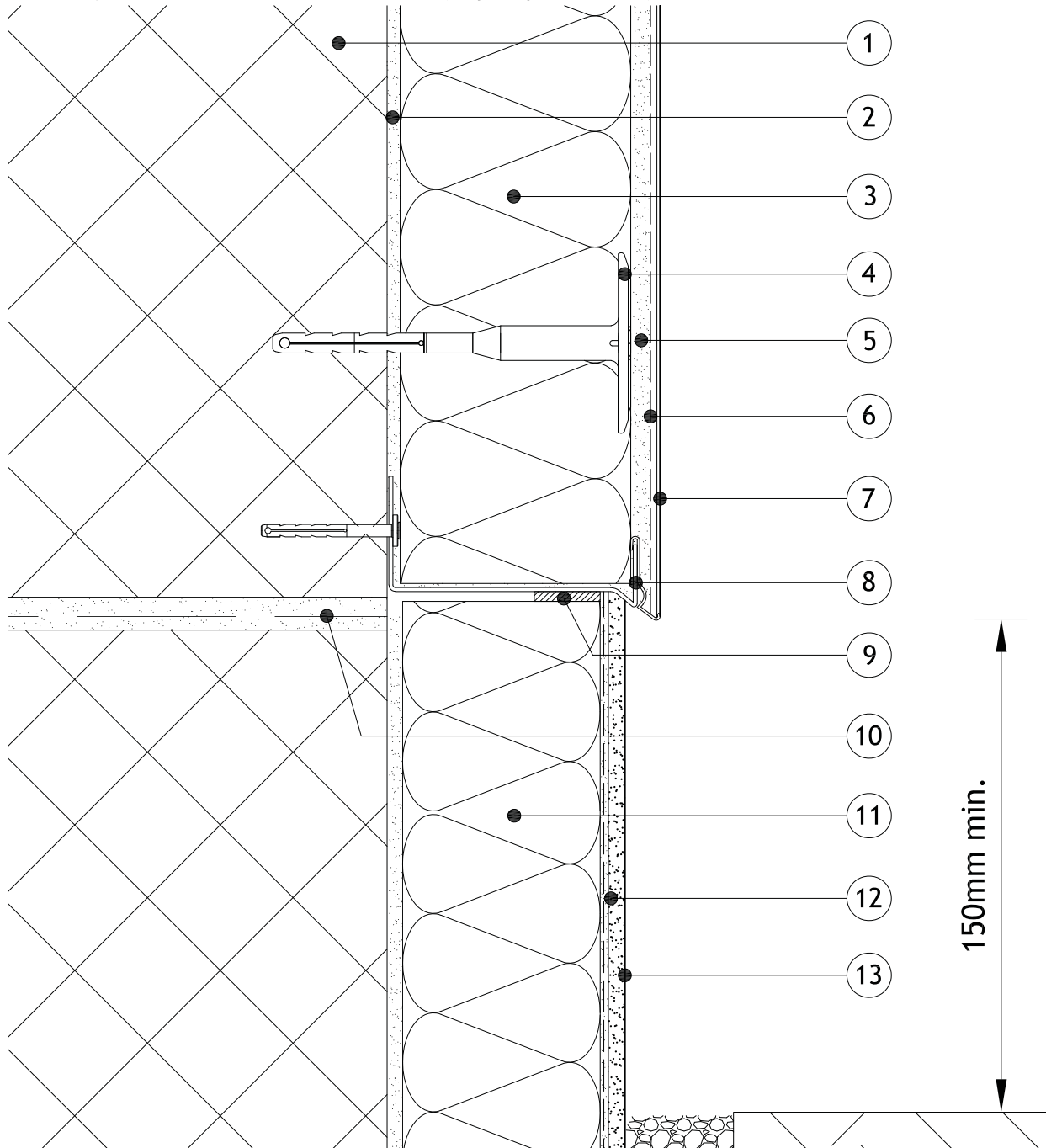


Notes:

- 1 - Refer to Alumasc E.B.P. Ltd for Technical Assistance regarding specification, fixing type and project specific fixing pattern.
- 2 - Main area elevations to follow 1 mechanical fixings through the centre of the board and then 400mm centres through the scrim. TBC by Structural Engineers report.
- 3 - Min. 200mm bond overlap.
- 4 - Fixings at 300mm centres at external corners and openings.

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Starter Track with Clip on Drip Profile (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 10 - Anticipated line of DPC
- 11 - XPS Insulation (as per specification)
- 12 - M.R. Scrim Adhesive with Alumasc Scrim Reinforcement fully bedded in
- 13 - M.R. S2 Polymer Plain Render for below DPC (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.

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 Website: www.alumascfacades.com
 E-mail: info@alumascfacades.com

Drawing title:

**Sikolitt Pro EWI System
 Insulated below DPC Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-200

Scale:
NTS

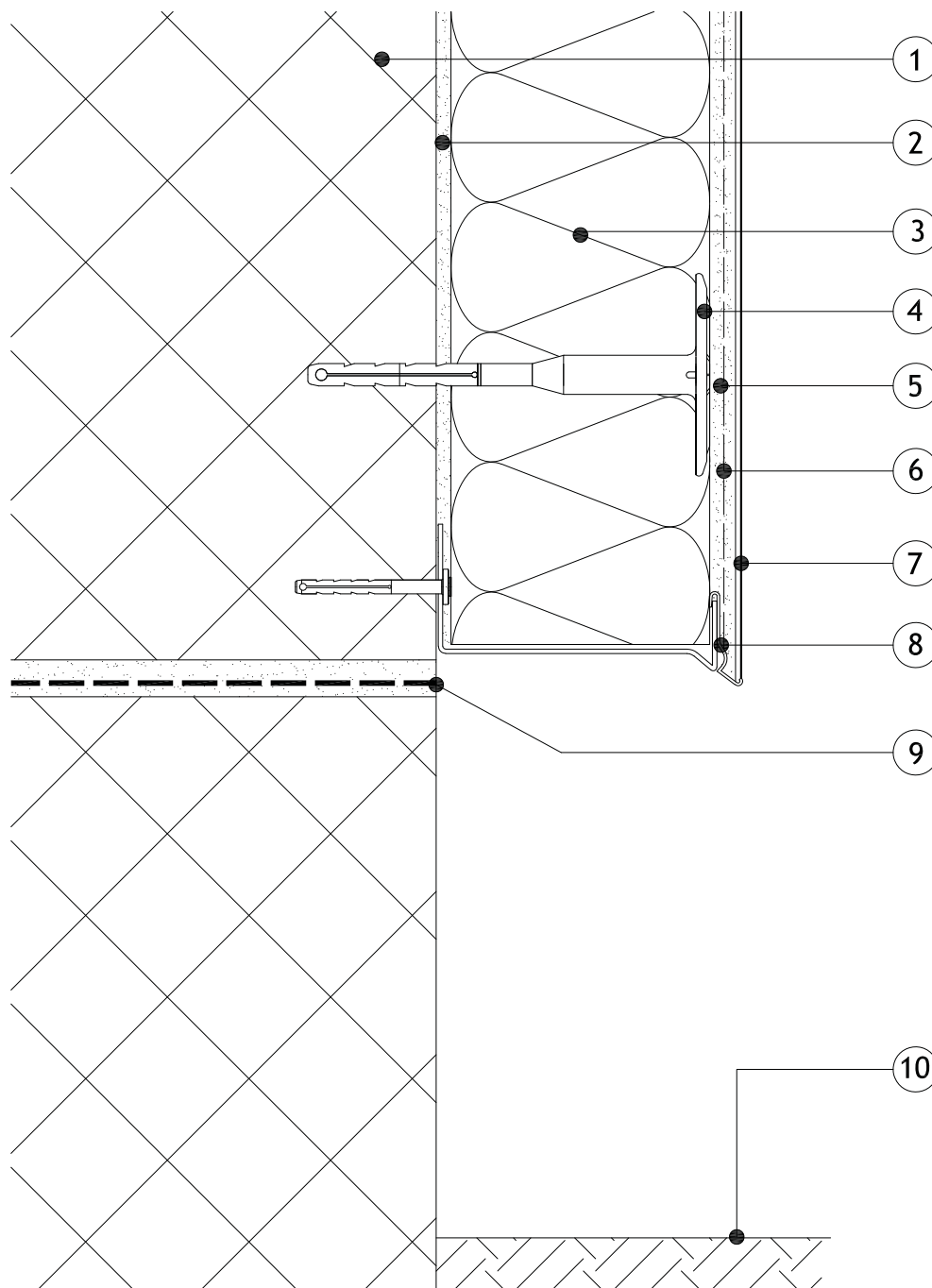
Revision:

Date:
01.08.2017

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Items:-

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- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Anticipated line of DPC
- 10- Existing ground level

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-200 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Base Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-201

Scale:

NTS

Revision:

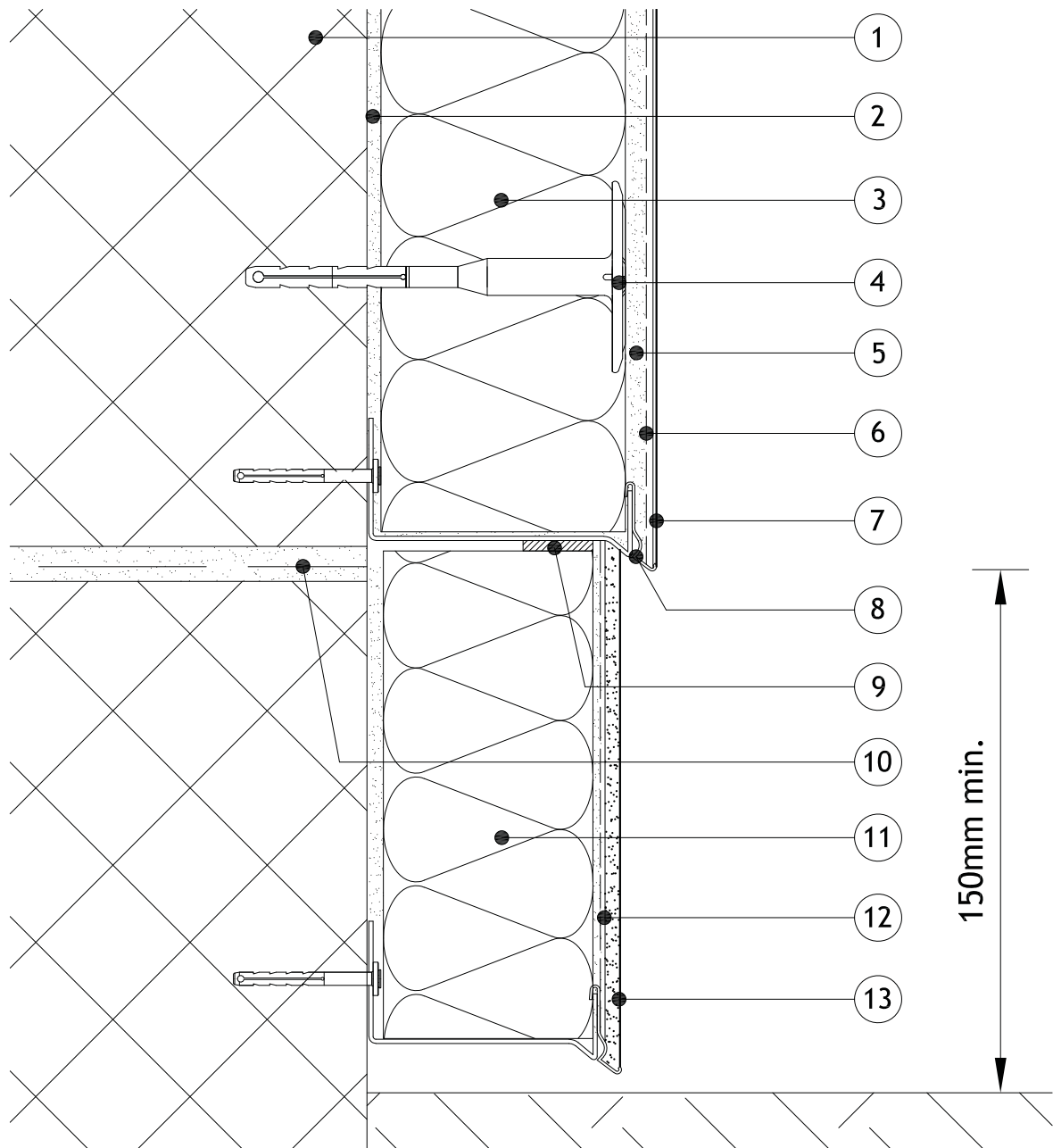
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 10 - Anticipated line of DPC
- 11 - XPS Insulation (as per specification)
- 12 - M.R. Scrim Adhesive with Alumasc Scrim Reinforcement fully bedded in
- 13 - M.R. S2 Polymer Plain Render for below DPC (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-200 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated below DPC Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-202

Scale:
NTS

Revision:

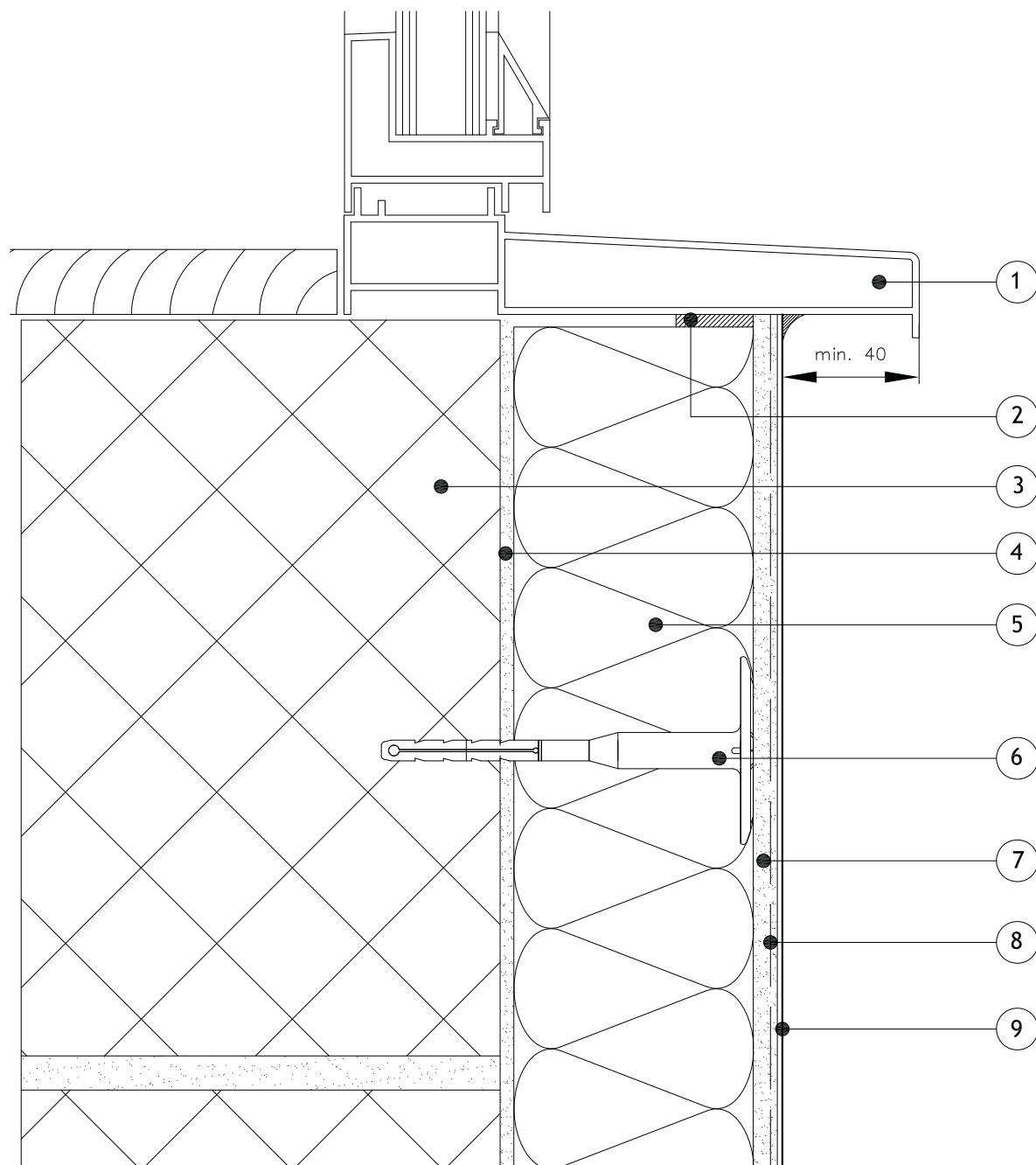
Date:
01.08.2017

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Items:-

- 1 - Proposed window cill
- 2 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Window Sill Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-300

Scale:
NTS

Revision:

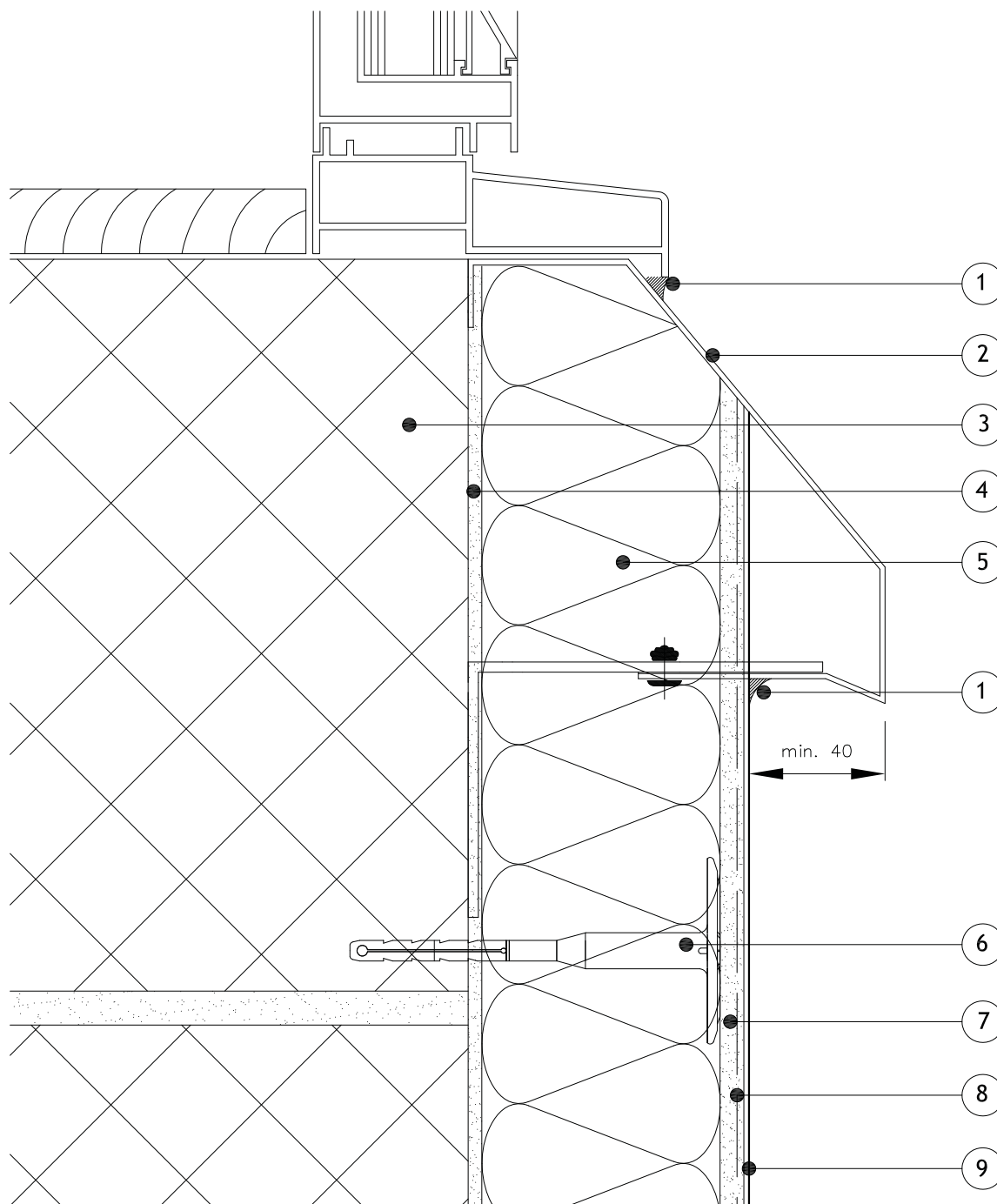
Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

Items:-

- 1 - Alumasc Low Modulus Silicone Sealant
- 2 - Alumasc Anti-Perch Window Sill
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Window Sill Anti-Perch Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-301

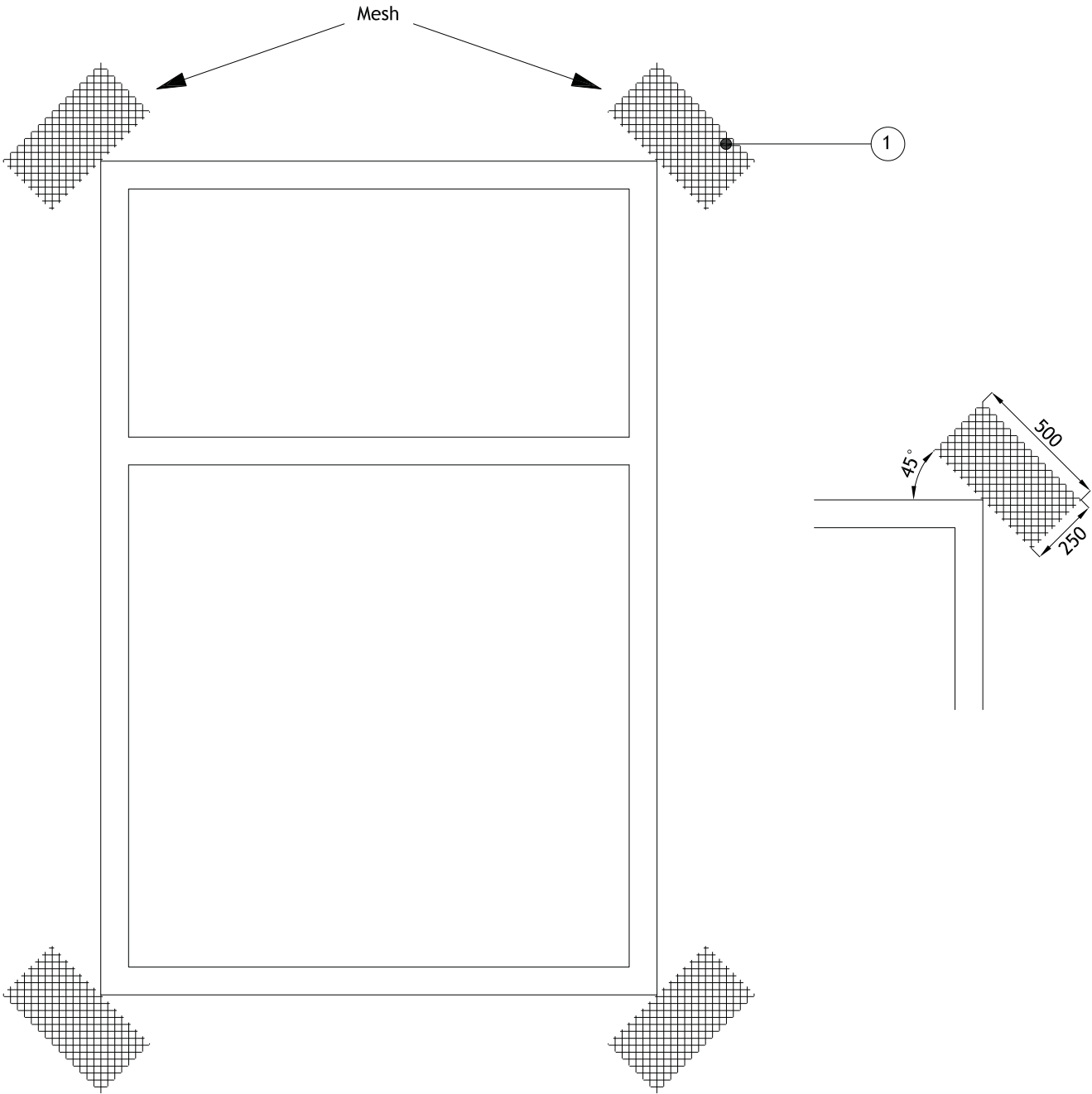
Scale:
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Revision:

Date:
01.08.2017

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Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:
**Silkolitt Pro EWI System
Stress Patch Detail**

Detail is valid only when approved by the Architect / Contractor concerned

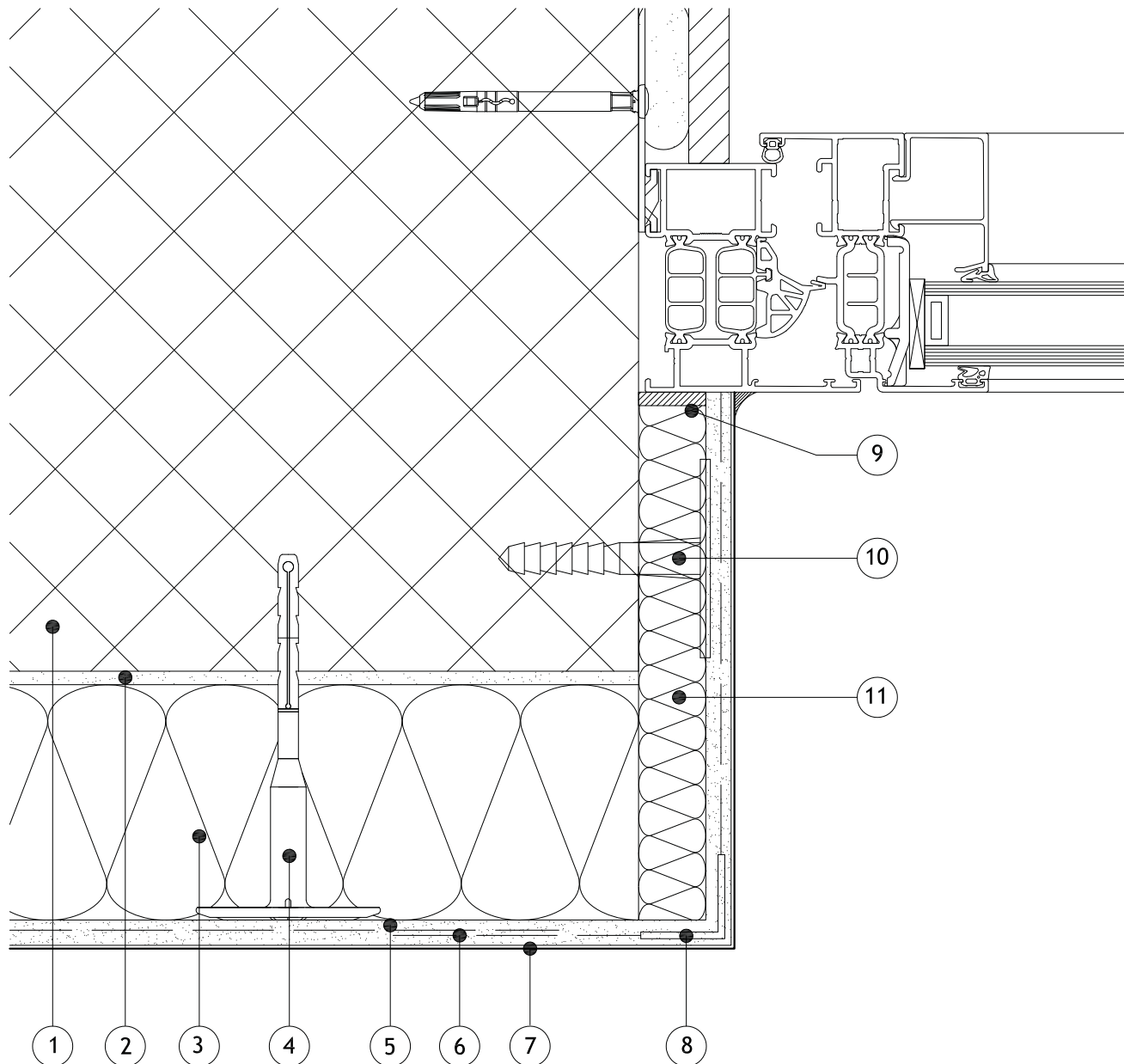
Drawing No:
S-PRO-M-302

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 10 - DIPK fixing for reveal board (as per specification)
- 11 - Alumasc Pro Dual Density Mineral Wool Insulation 20mm (as per specification) mechanically fixed into the reveal



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated Reveal Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-303

Scale:

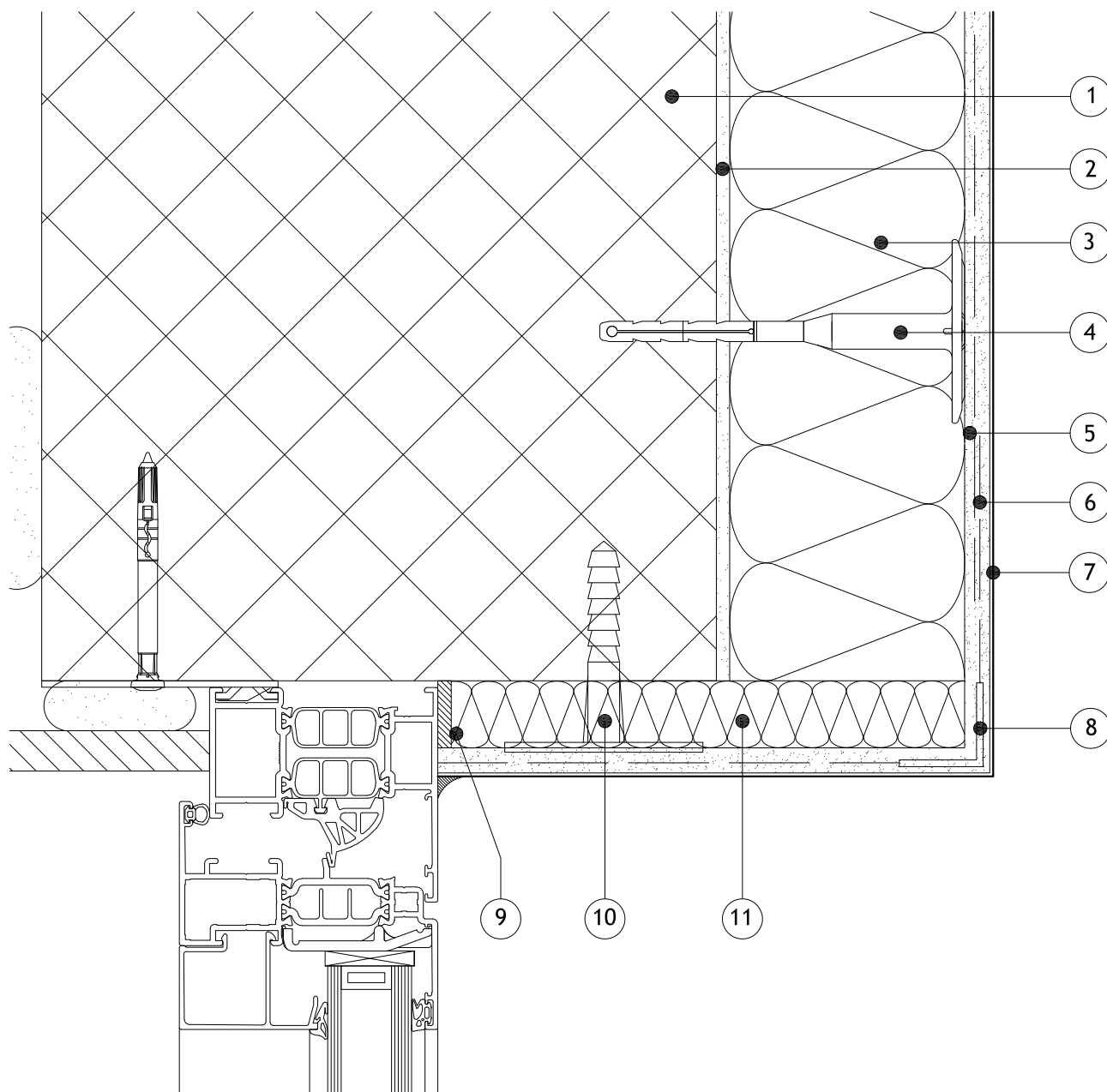
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 10 - Alumasc Pro Dual Density Mineral Wool Insulation 20mm (as per specification) mechanically fixed into the reveal



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated Head Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-304

Scale:

NTS

Revision:

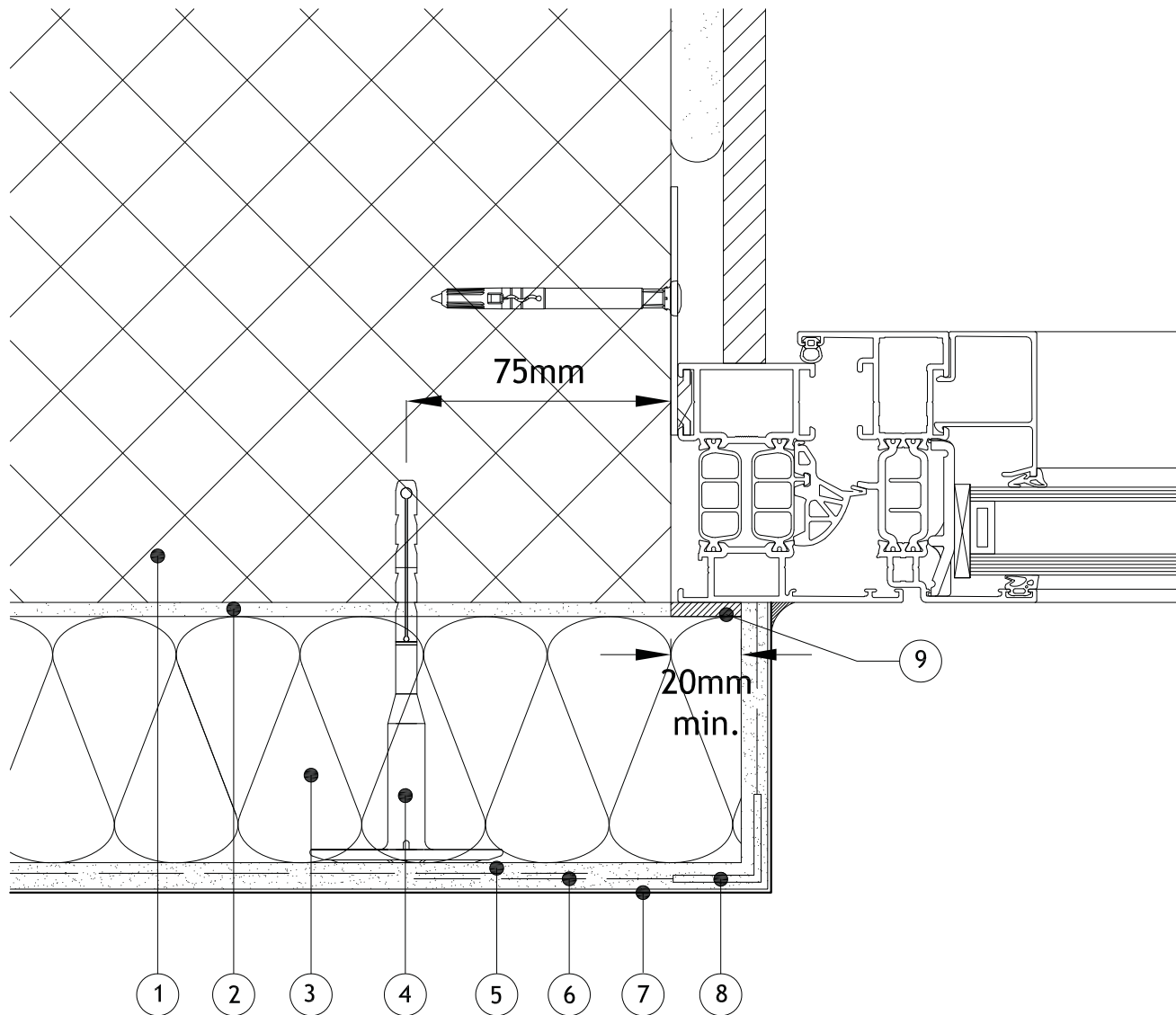
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated Reveal Oversail Detail**

Detail is valid only when approved by the Architect / Contractor concerned

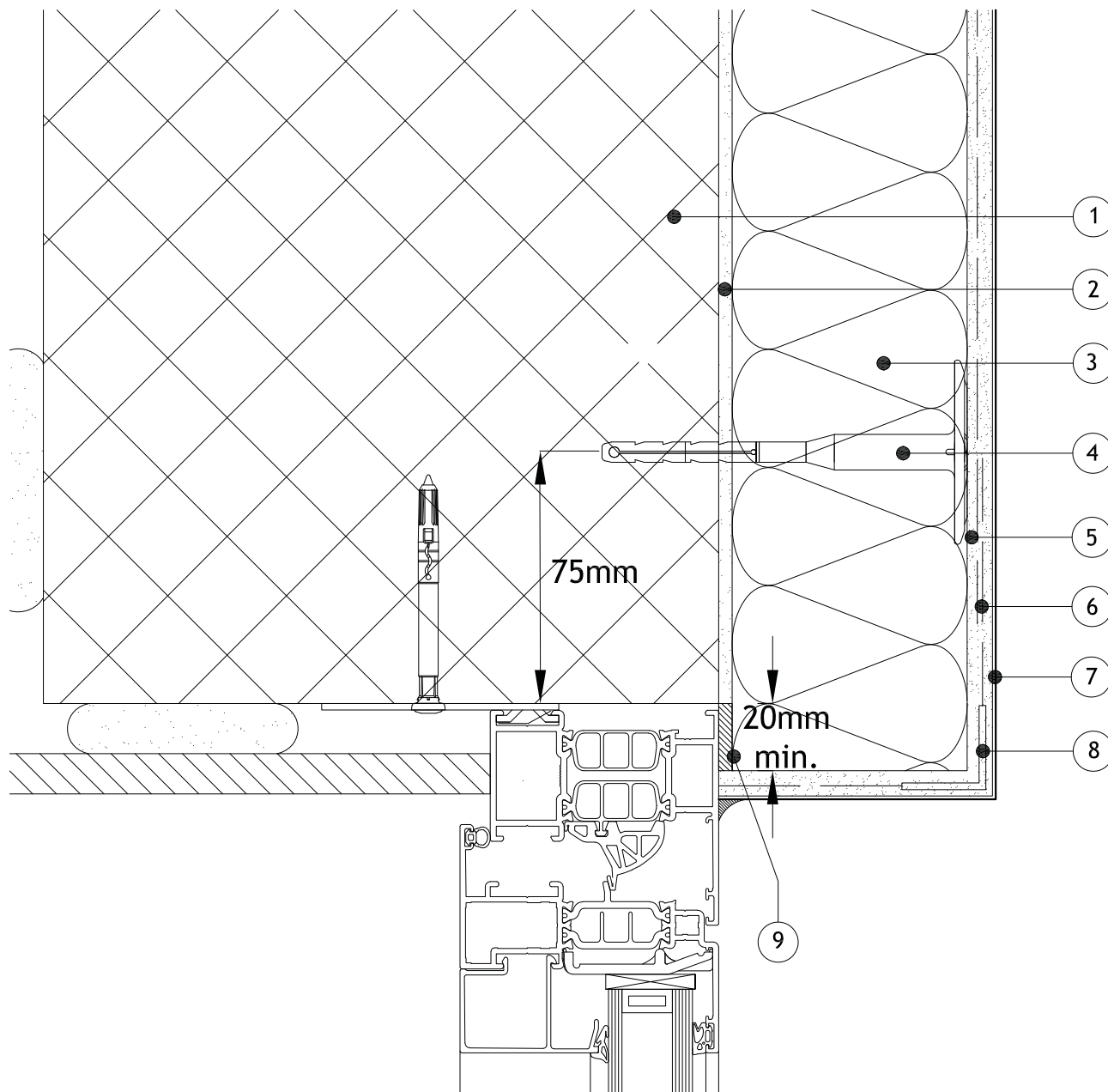
Drawing No:
 S-PRO-M-305

Scale:
 NTS

Revision:

Date:
 01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated Head Oversail Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-306

Scale:

NTS

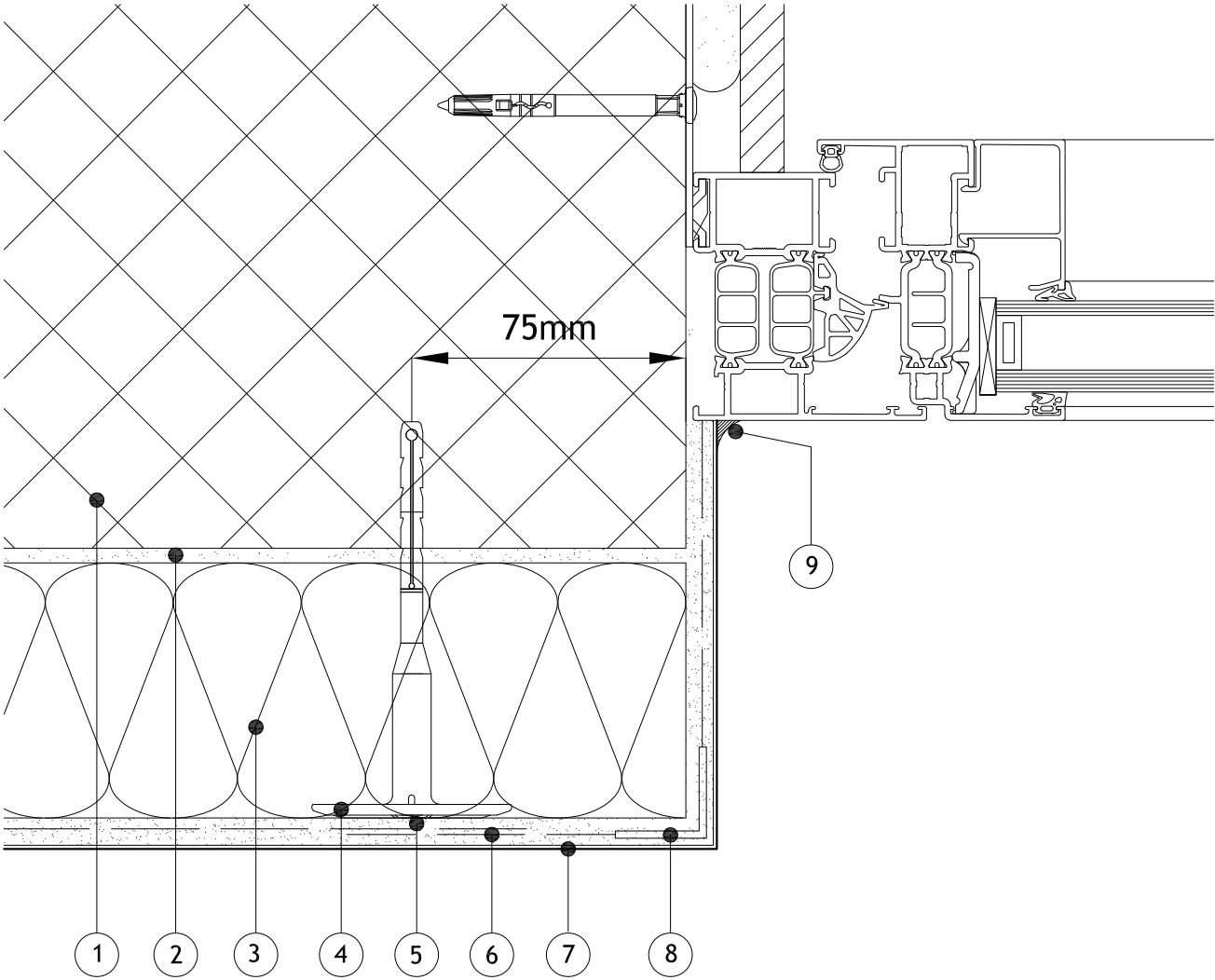
Revision:

Date:

01.08.2017

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.
- 2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-303 for best practice.

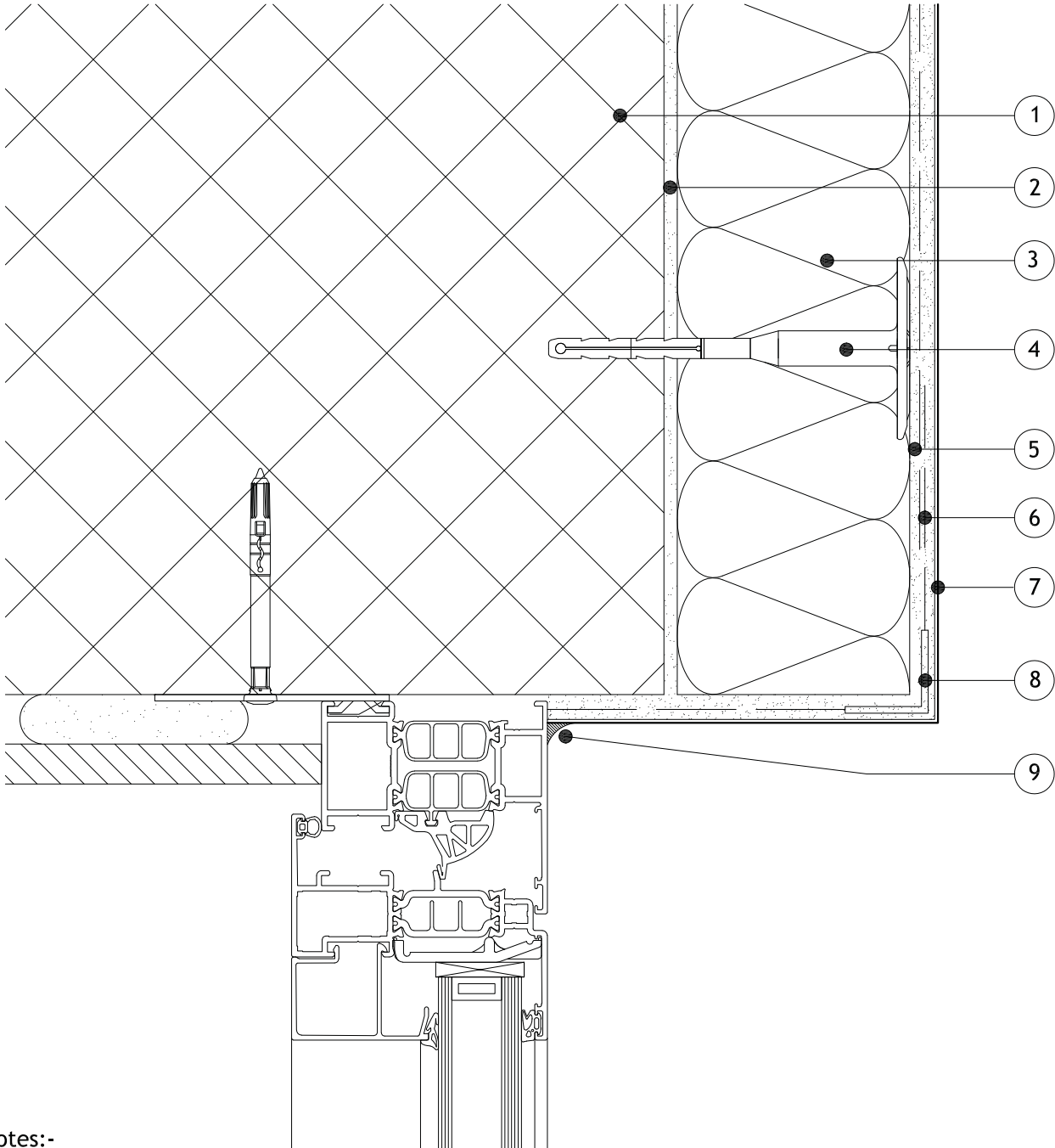


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Drawing title: Silkolitt Pro EWI System Non-insulated Reveal Detail Detail is valid only when approved by the Architect / Contractor concerned	
Drawing No: S-PRO-M-307	Scale: NTS
Revision:	Date: 01.08.2017

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.
- 2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-304 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
Non-insulated Head Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-308

Scale:
NTS

Revision:

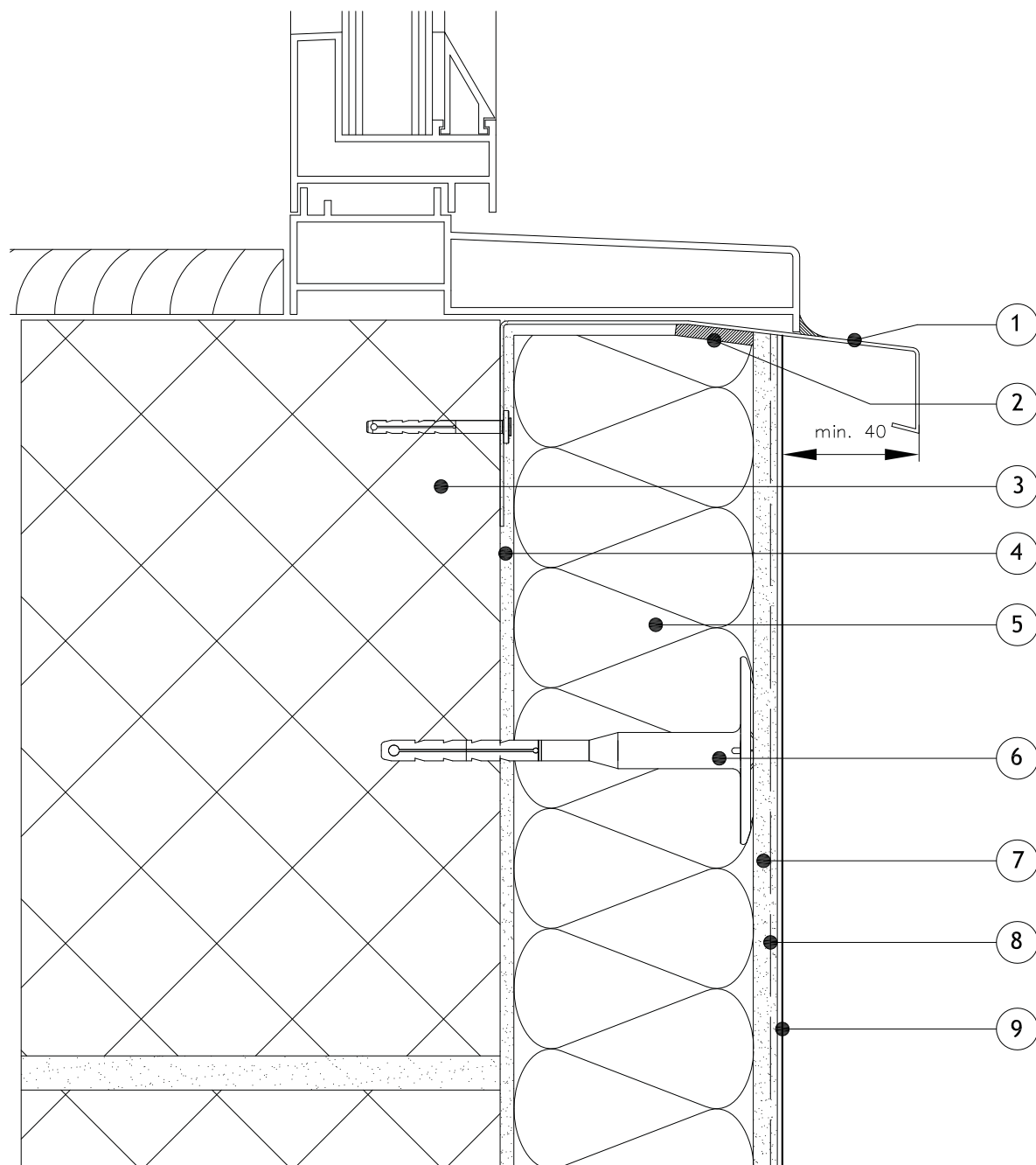
Date:
01.08.2017

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Items:-

- 1 - Alumasc Undersill (as per specification)
- 2 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-300 for best practice.
3. Ensure window weep holes and vents are not blocked.



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Drawing title:

**Silkolitt Pro EWI System
 Undersill Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-309

Scale:

NTS

Revision:

Date:

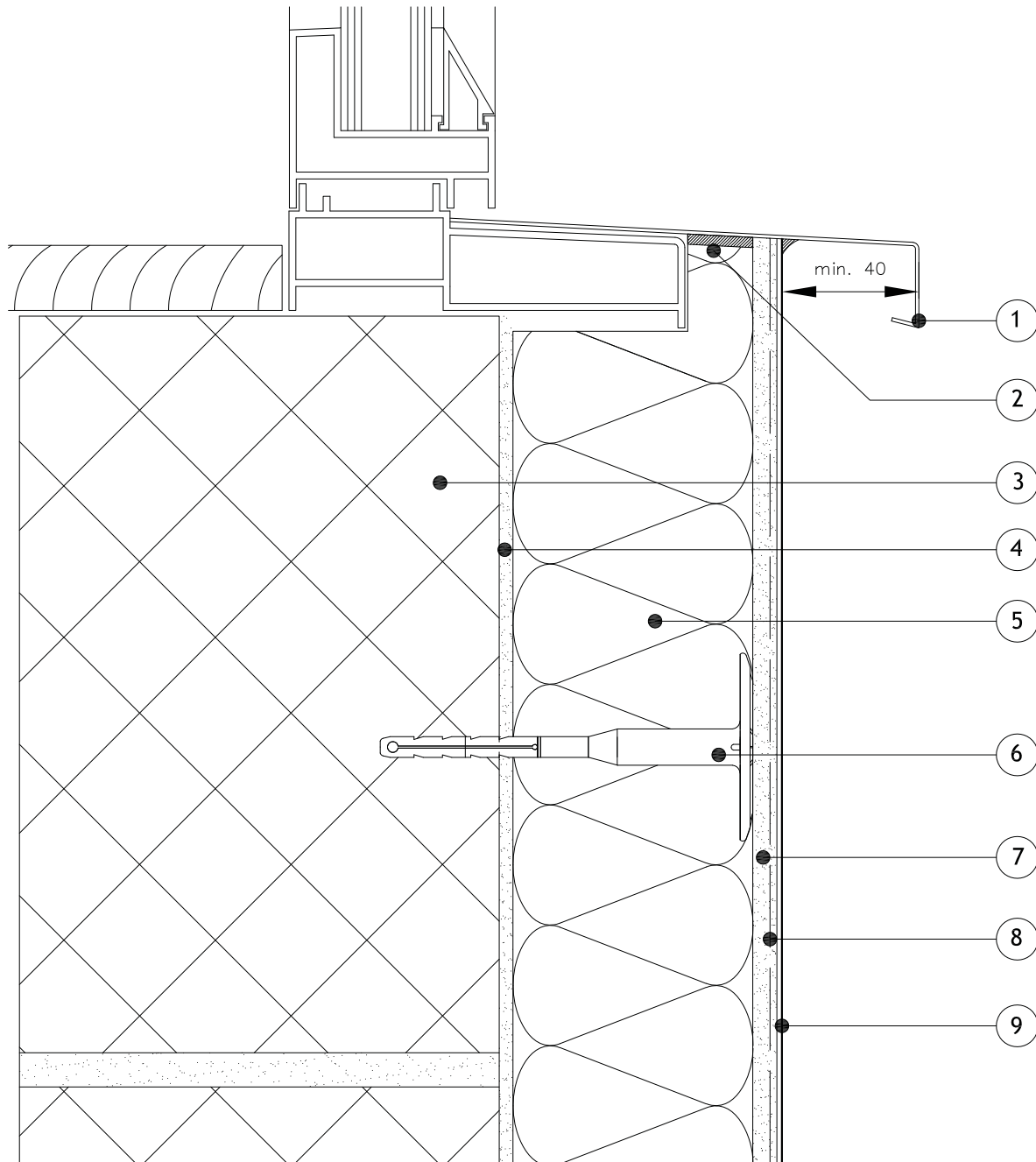
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Items:-

- 1 - Alumasc Oversill bedded on Alumasc Low Modulus Silicone Sealant (as per specification)
- 2 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-300 for best practice.
3. Ensure that any existing drainage holes are not blocked or install new drainage holes.



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Drawing title:

**Silkolitt Pro EWI System
 Oversill Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-310

Scale:

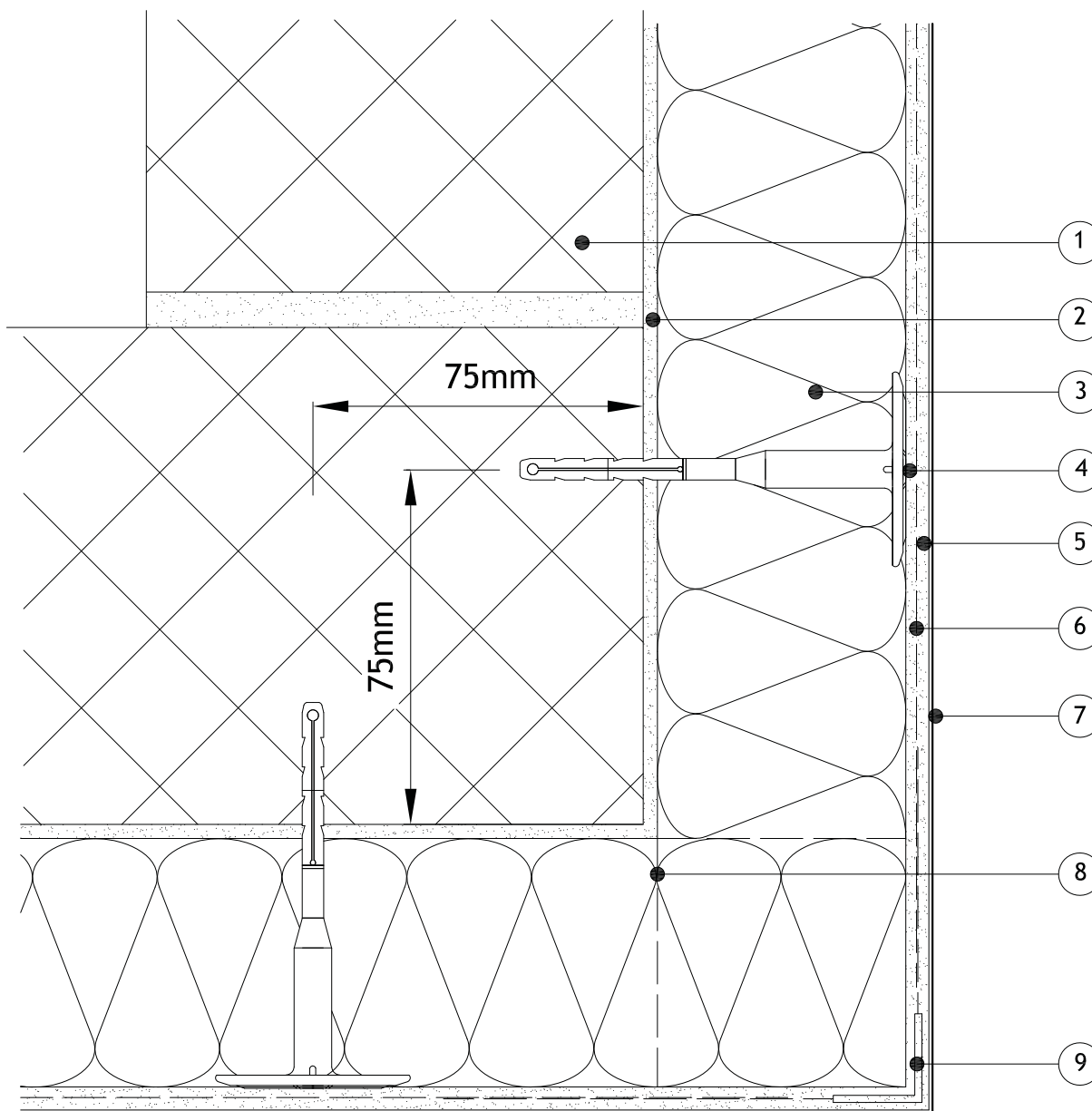
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alternate line of insulation for brick bond (as per specification)
- 9 - ST Corner Bead (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Sikolitt Pro EWI System
 Building Corner Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-400

Scale:

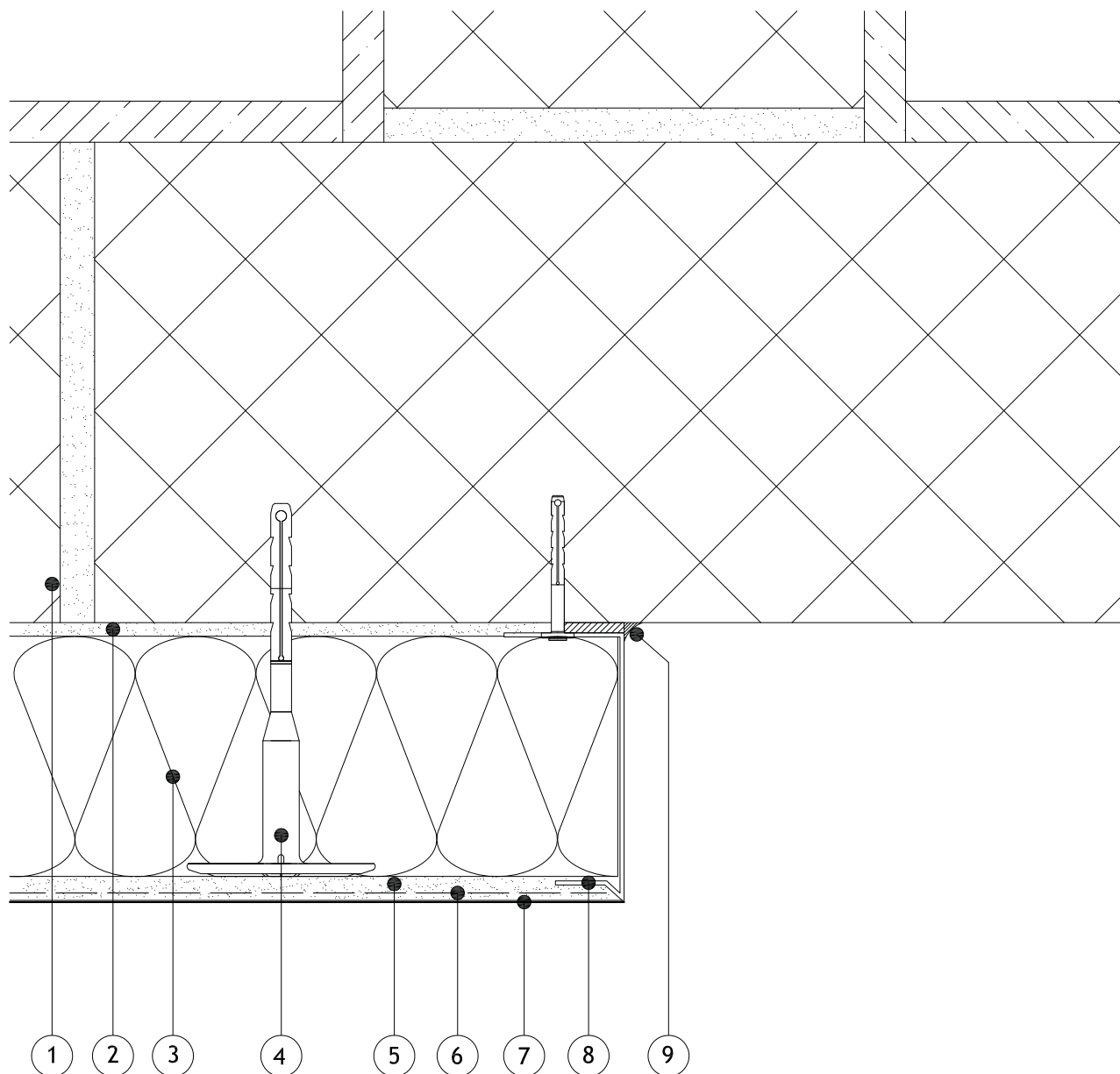
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc System Stop Bead (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge.



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Drawing title:

**Silkolitt Pro EWI System
 Party Wall Stop Bead Detail**

Detail is valid only when approved by the Architect / Contractor concerned

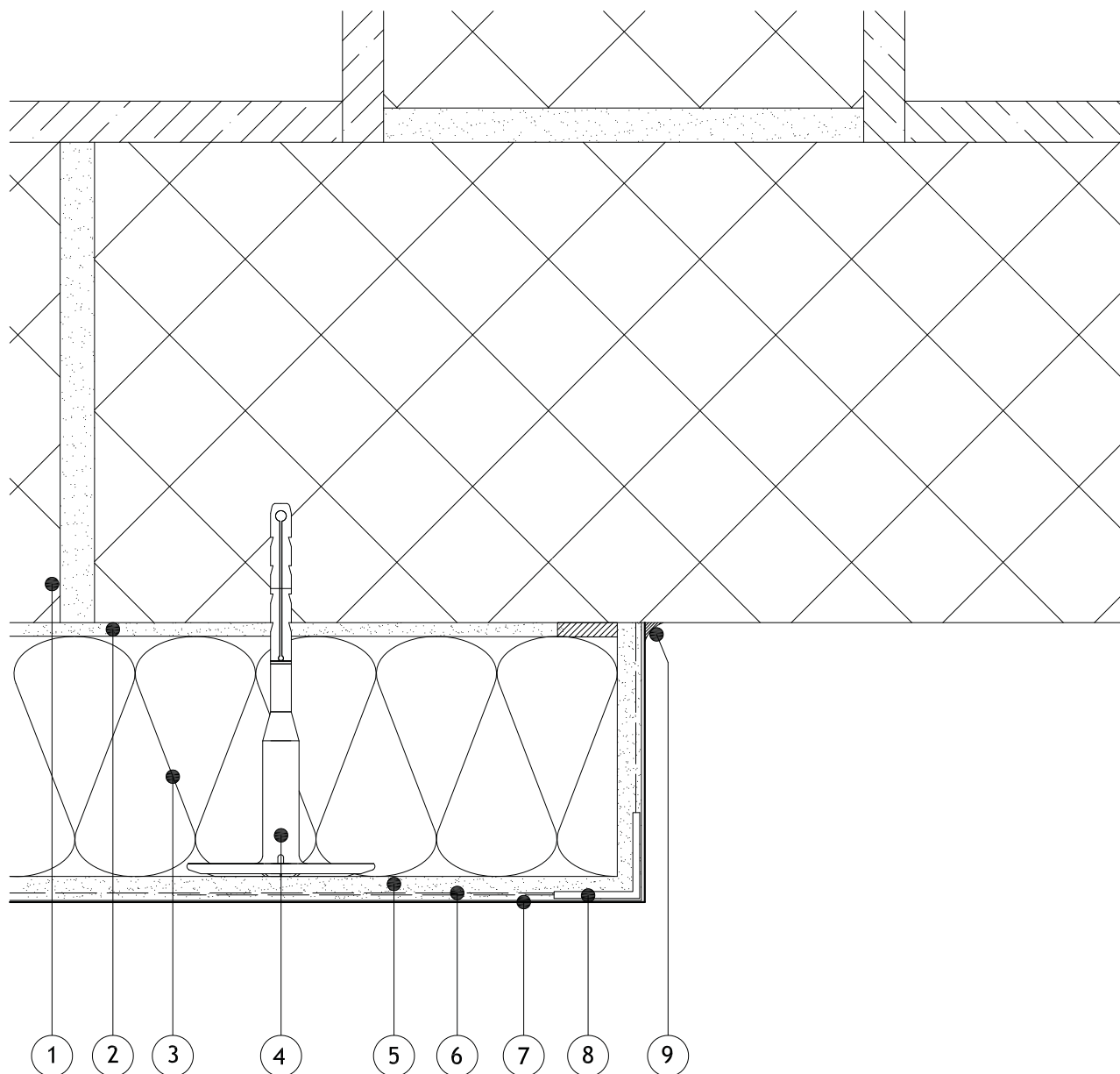
Drawing No:
S-PRO-M-401

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge.



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Drawing title:

Silkolitt Pro EWI System
Party Wall Stop Render Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-402

Scale:

NTS

Revision:

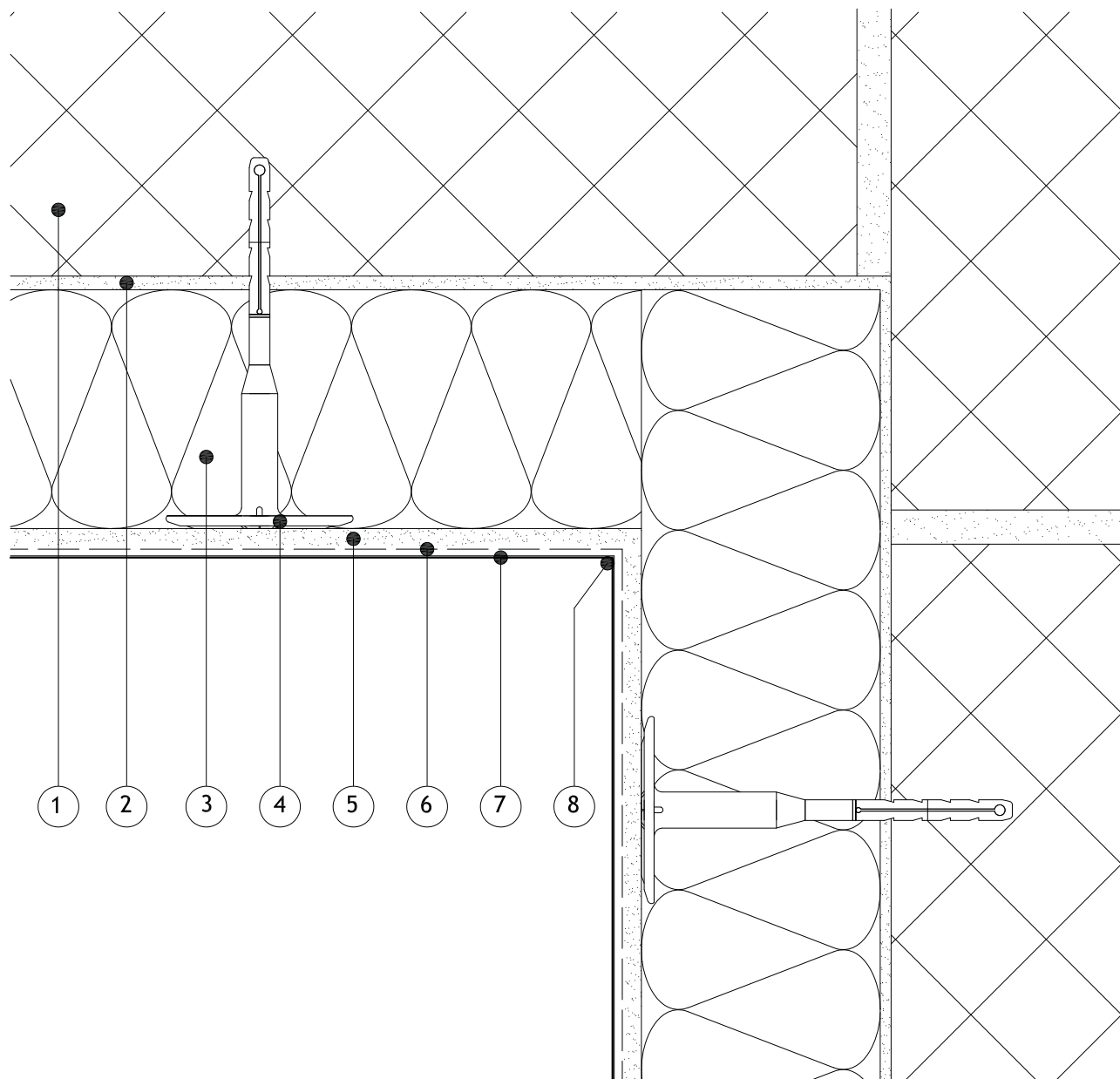
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Low Modulus Silicone Sealant applied prior to Silkolitt render



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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 E-mail: info@alumascfacades.com

Drawing title:

**Silkolitt Pro EWI System
 Internal Corner Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-403

Scale:

NTS

Revision:

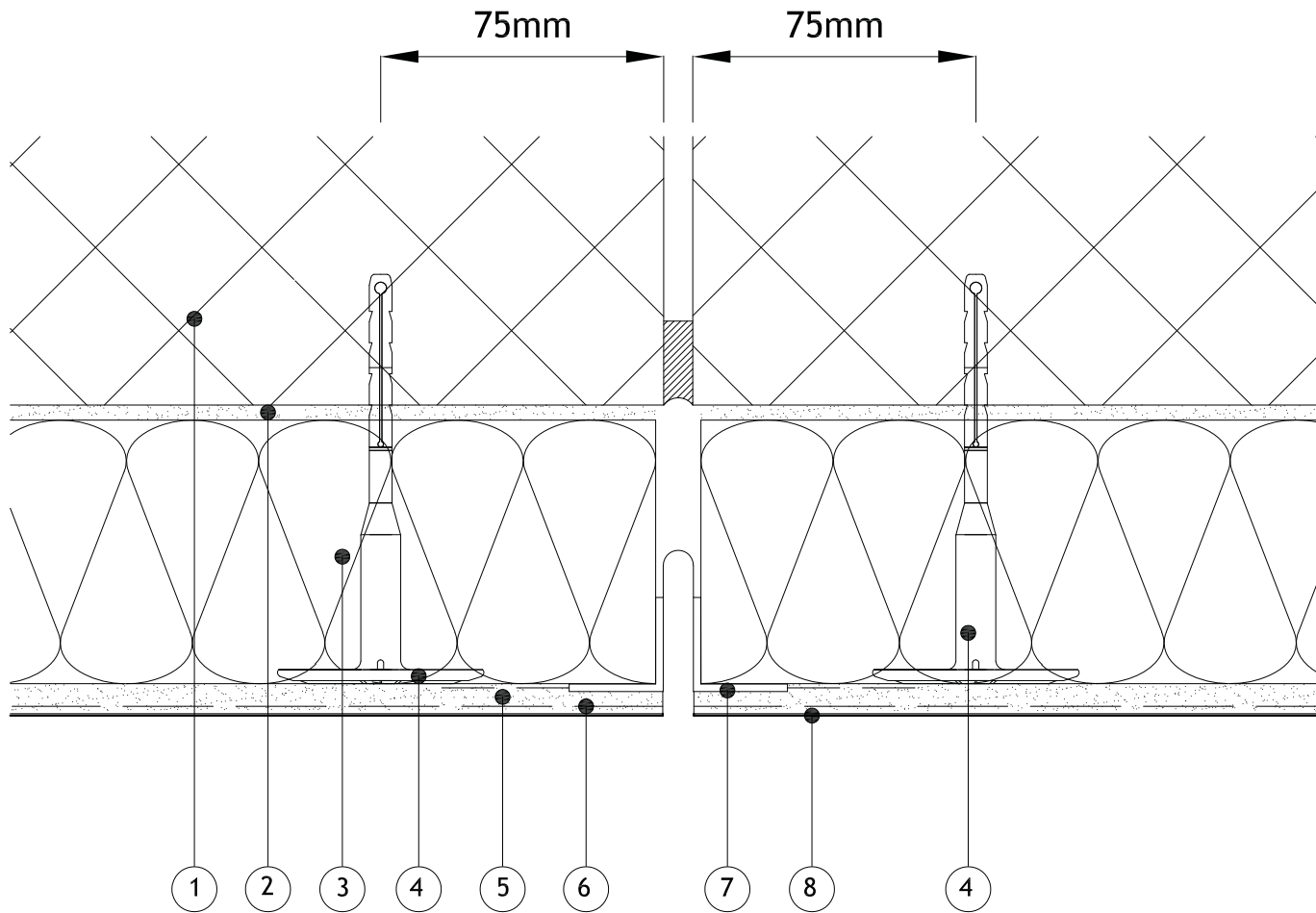
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Movement profile (Ref: MR8575) bedded into Alumasc Base Coat
- 8 - Alumasc Silicone Primer & Silkolitt



Notes:-

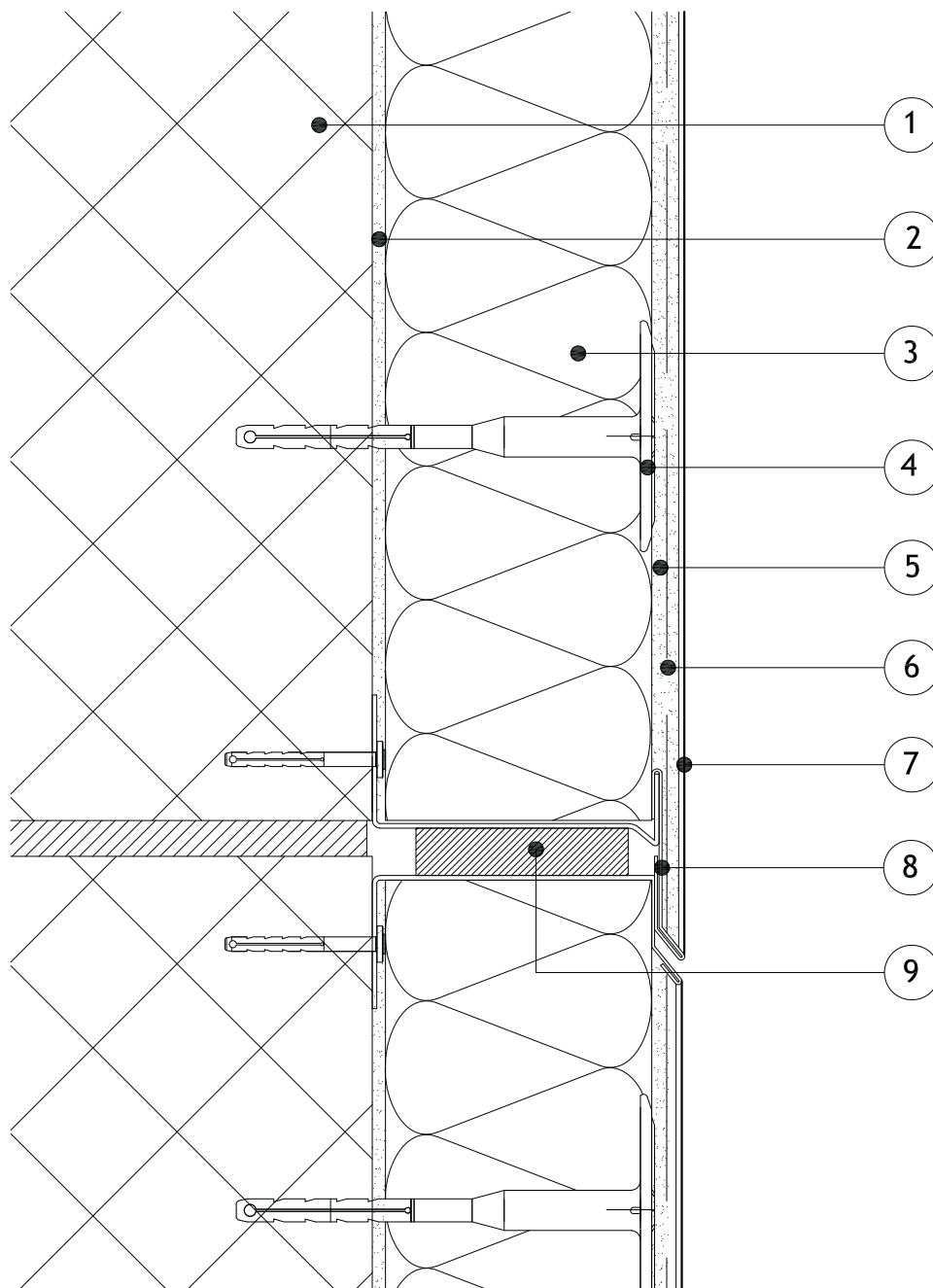
- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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Website: www.alumascfacades.com
E-mail: info@alumascfacades.com

Drawing title: Silkolitt Pro EWI System Vertical Movement Joint Detail	
Detail is valid only when approved by the Architect / Contractor concerned	
Drawing No: S-PRO-M-500	Scale: NTS
Revision:	Date: 01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Starter Track with 9181 & 9182FS Movement Bead (as per specification)
- 9 - Alumasc Sealing tape



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
Horizontal Full System Movement Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-501

Scale:

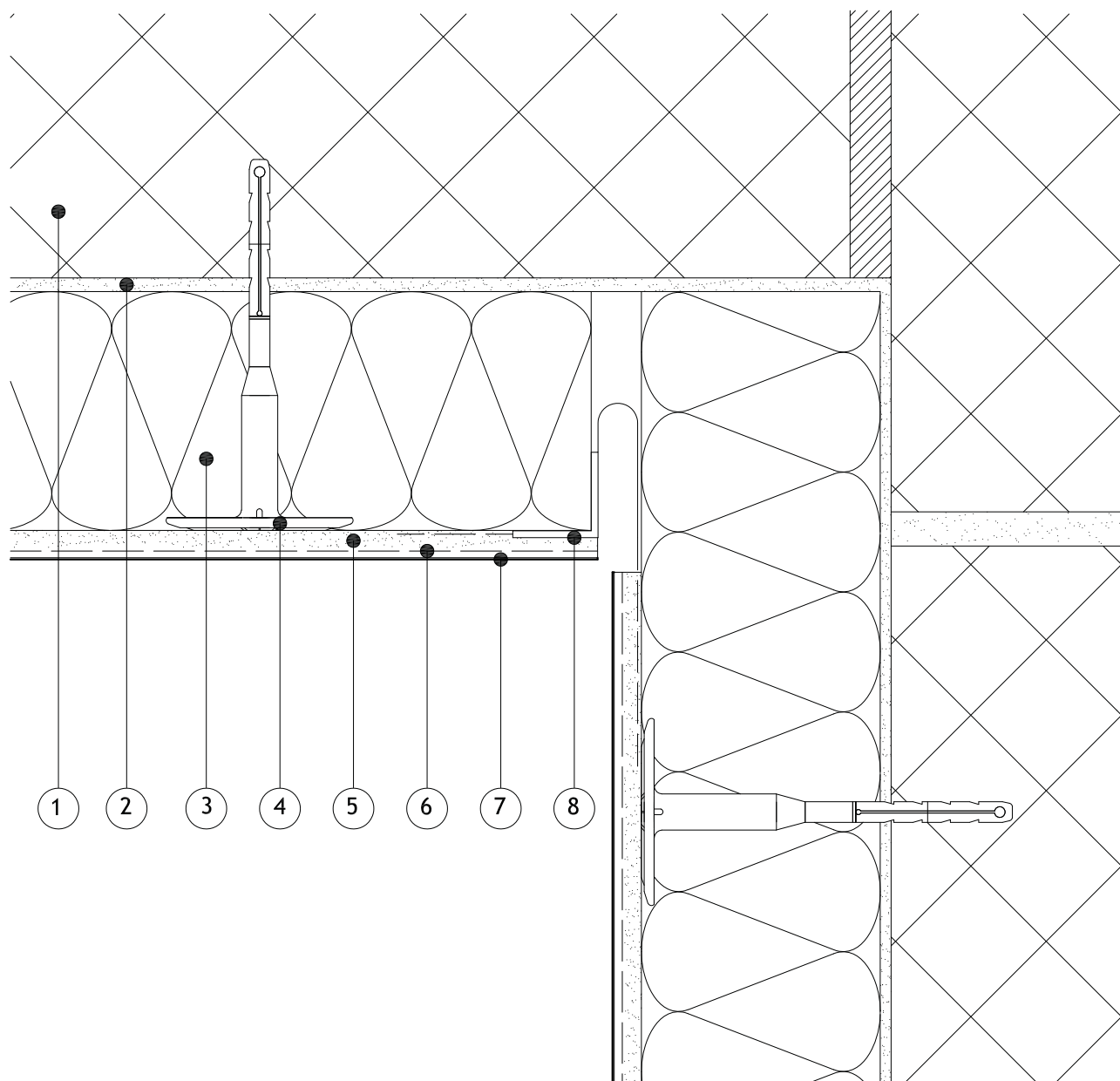
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Internal Corner Movement profile (Ref: MR8576) bedded into Alumasc Base Coat



Notes:-

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Drawing title:

Silkolitt Pro EWI System
Internal Corner Full System Movement Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-502

Scale:
NTS

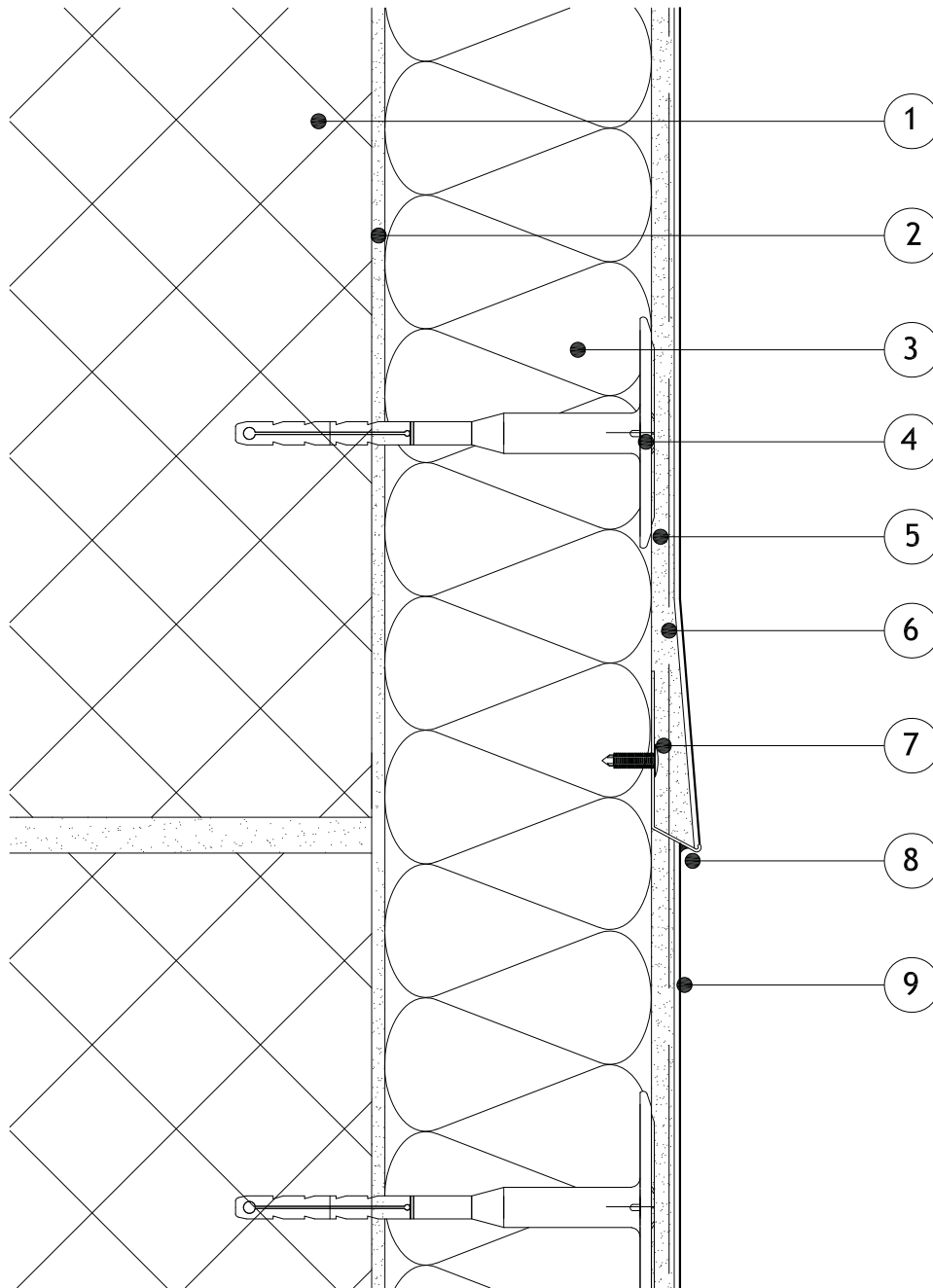
Revision:

Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Surface Bellcast Bead (as per specification) fixed @ 300mm centres with Alumasc Fir Tree fixings
- 8 - Alumasc Low Modulus Silicone Sealant
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

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Drawing title:

Silkolitt Pro EWI System
Horizontal Surface Expansion Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-600

Scale:
NTS

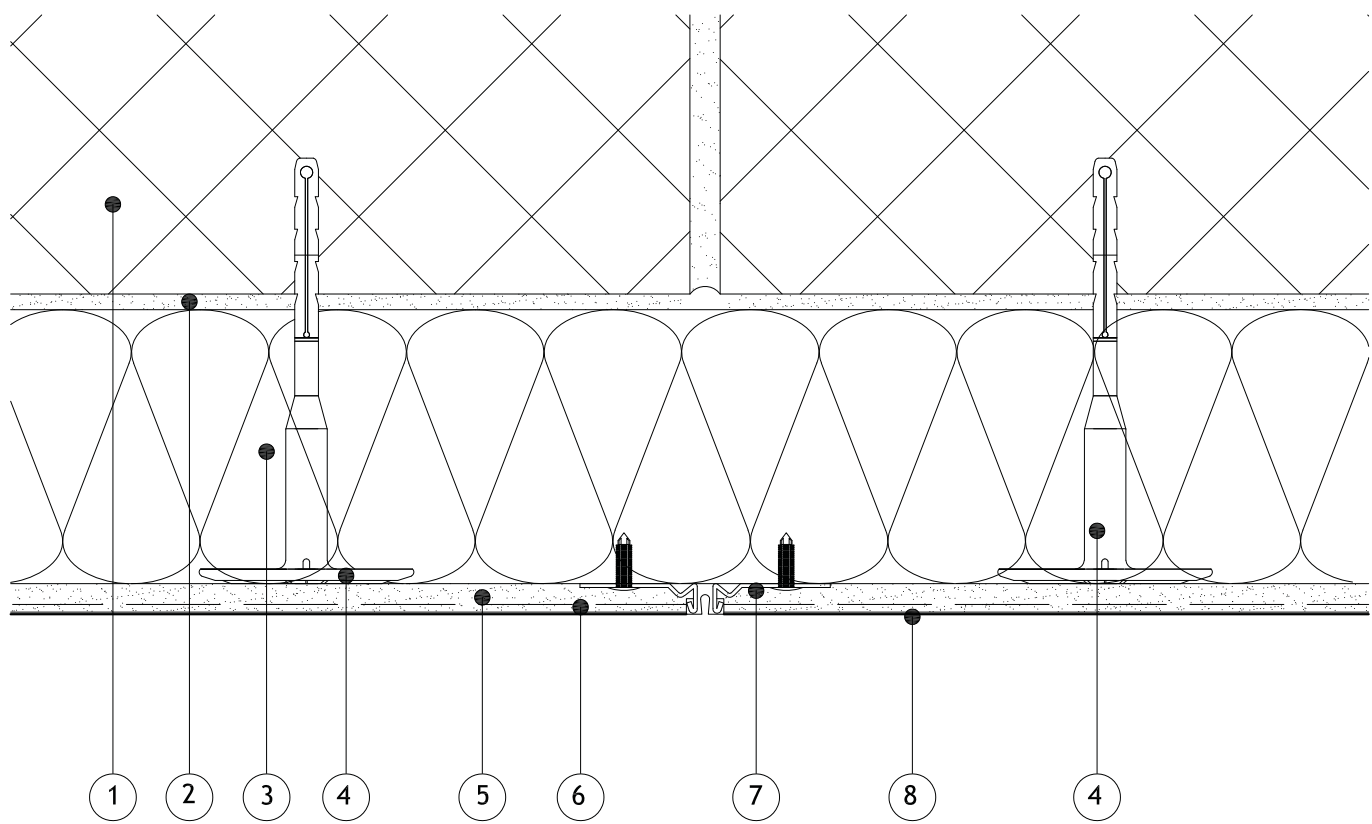
Revision:

Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Expansion profile fixed with Fir Tree Fixings at 300mm centres
- 8 - Alumasc Silicone Primer & Silkolitt



Notes:-

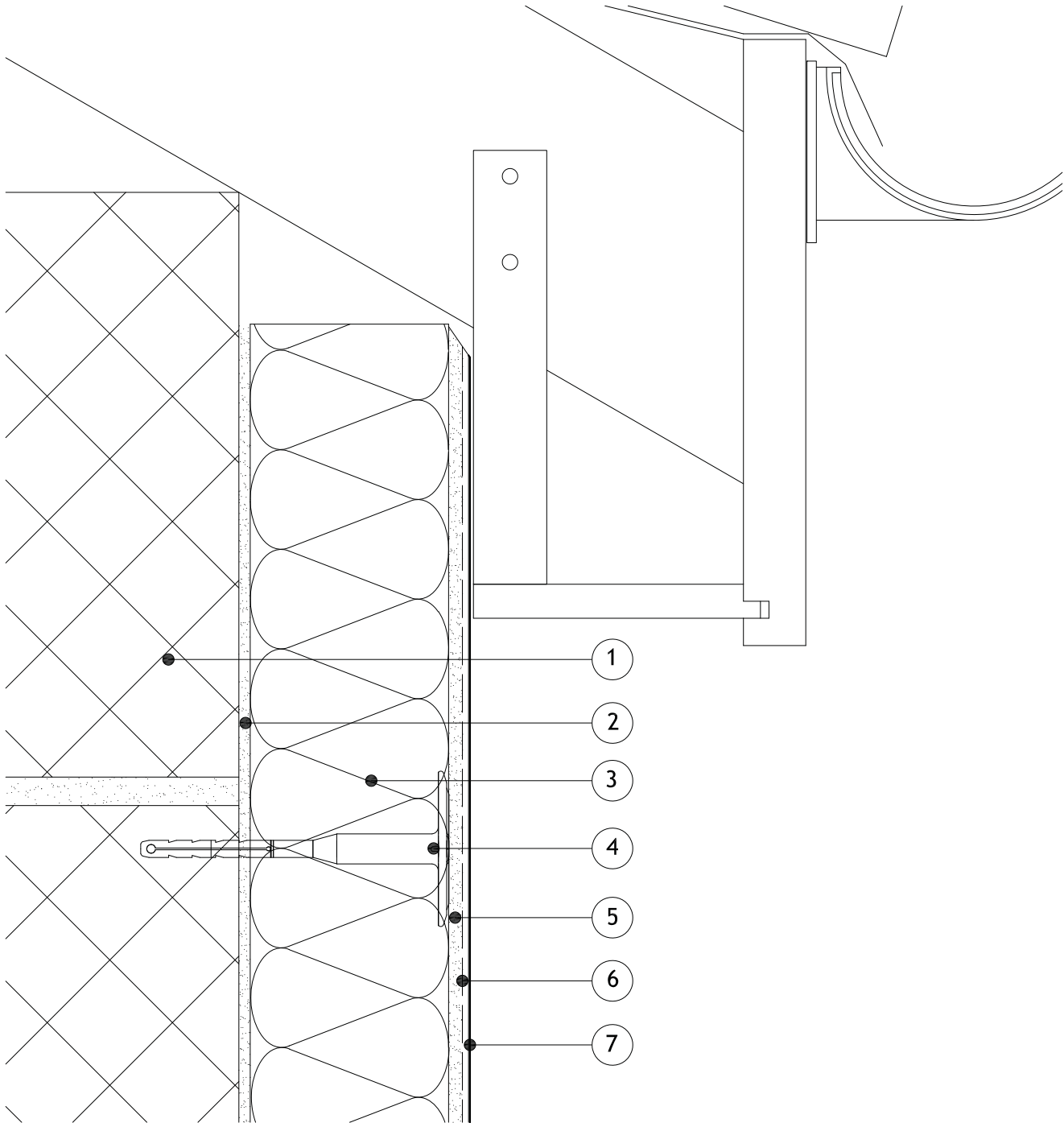
- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title: Silkolitt Pro EWI System Vertical Surface Expansion Detail Detail is valid only when approved by the Architect / Contractor concerned	
Drawing No: S-PRO-M-601	Scale: NTS
Revision:	Date: 01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.



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Drawing title:
**Sikolitt Pro EWI System
Eaves Detail**

Detail is valid only when approved by the Architect / Contractor concerned

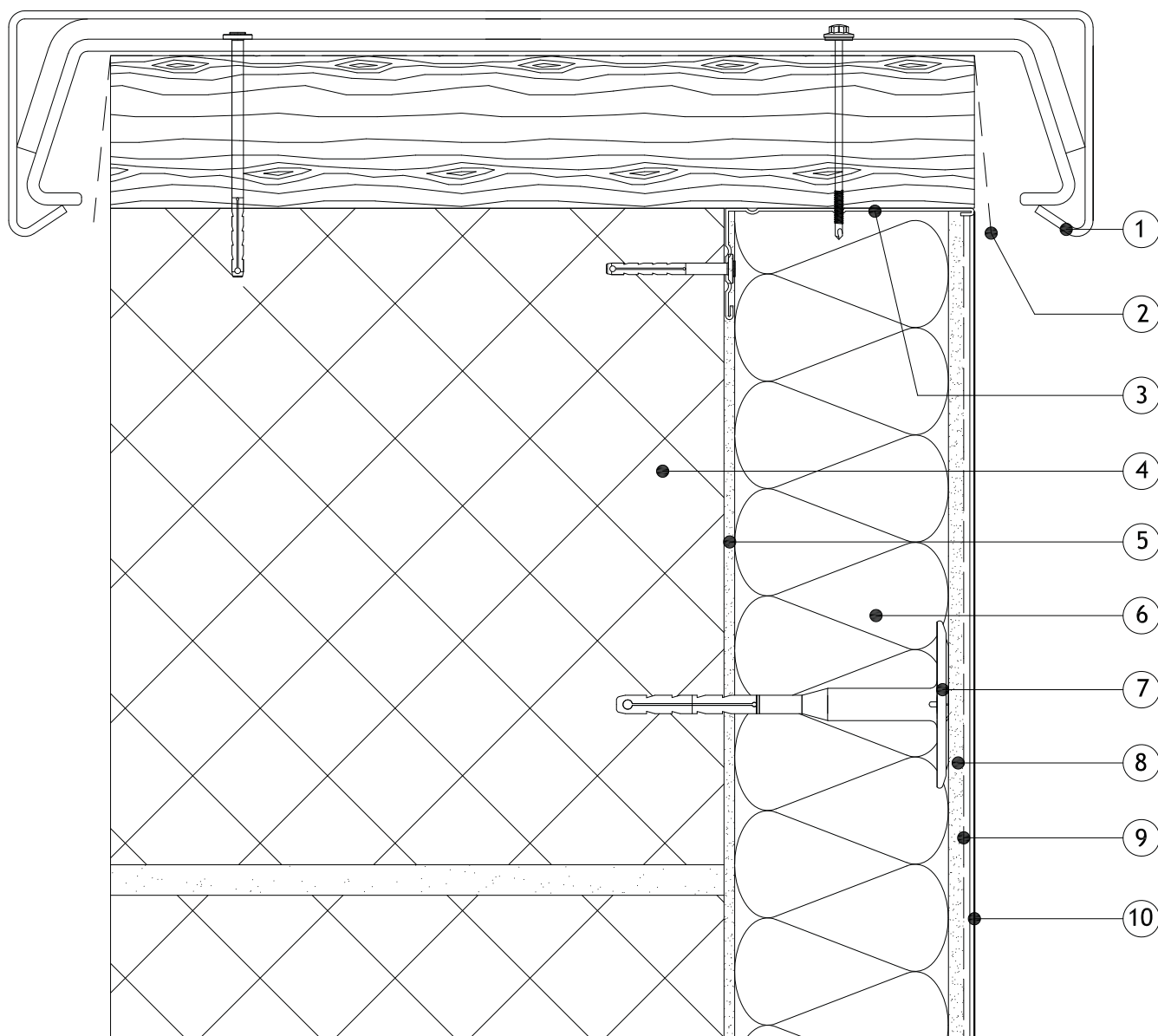
Drawing No:
S-PRO-M-700

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Skyline coping system
- 2 - DPC (installed by others)
- 3 - Alumasc System Stop Bead (as per specification)
- 4 - Masonry Structure
- 5 - M.R. Bedding Adhesive (if required, please refer to specification)
- 6 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 7 - Alumasc Approved Mechanical fixing (as per specification)
- 8 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 9 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 10- Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Parapet Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-701

Scale:

NTS

Revision:

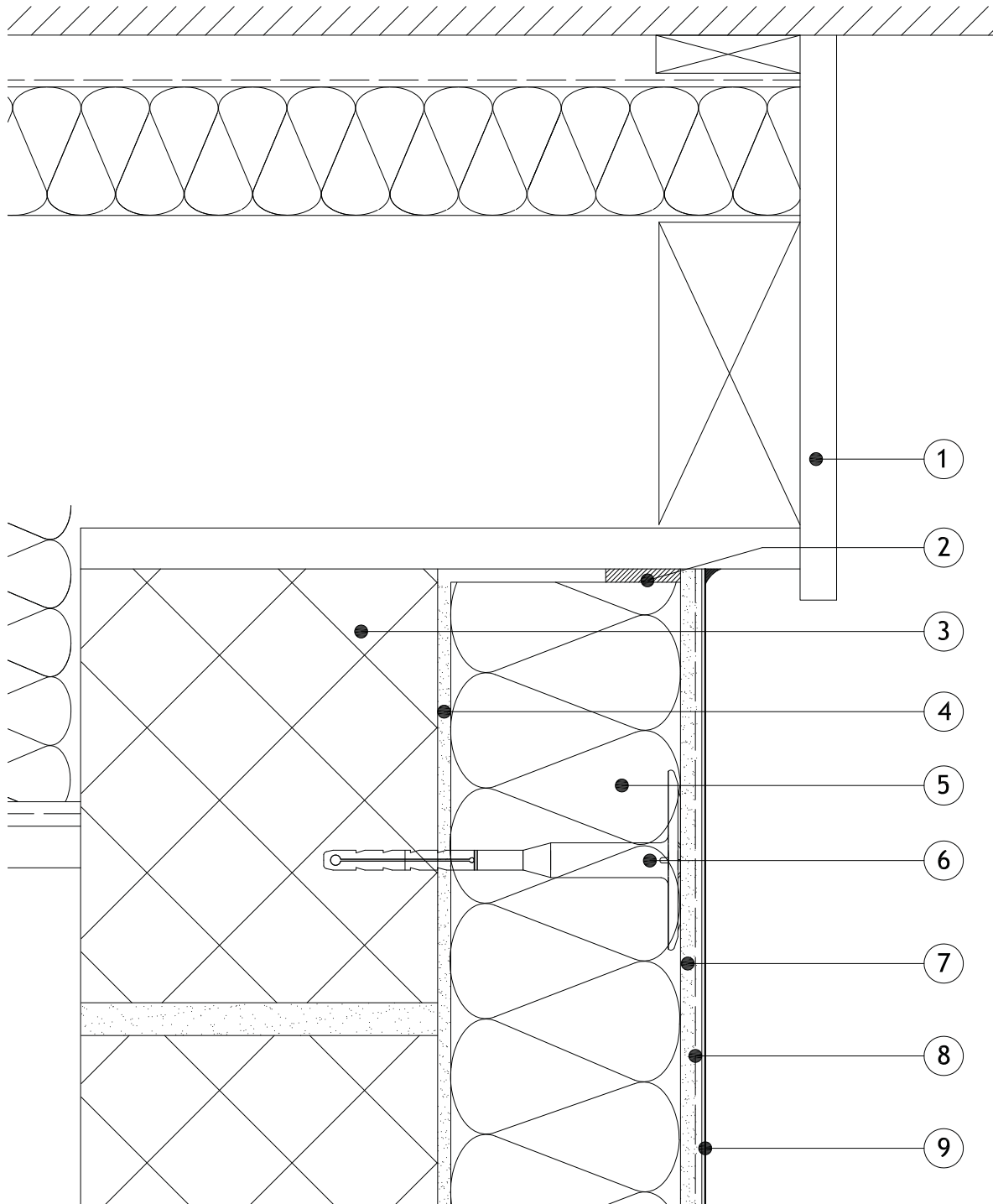
Date:

01.08.2017

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- 2 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt



1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
Extended/Overhanging Verge Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-702

Scale:
NTS

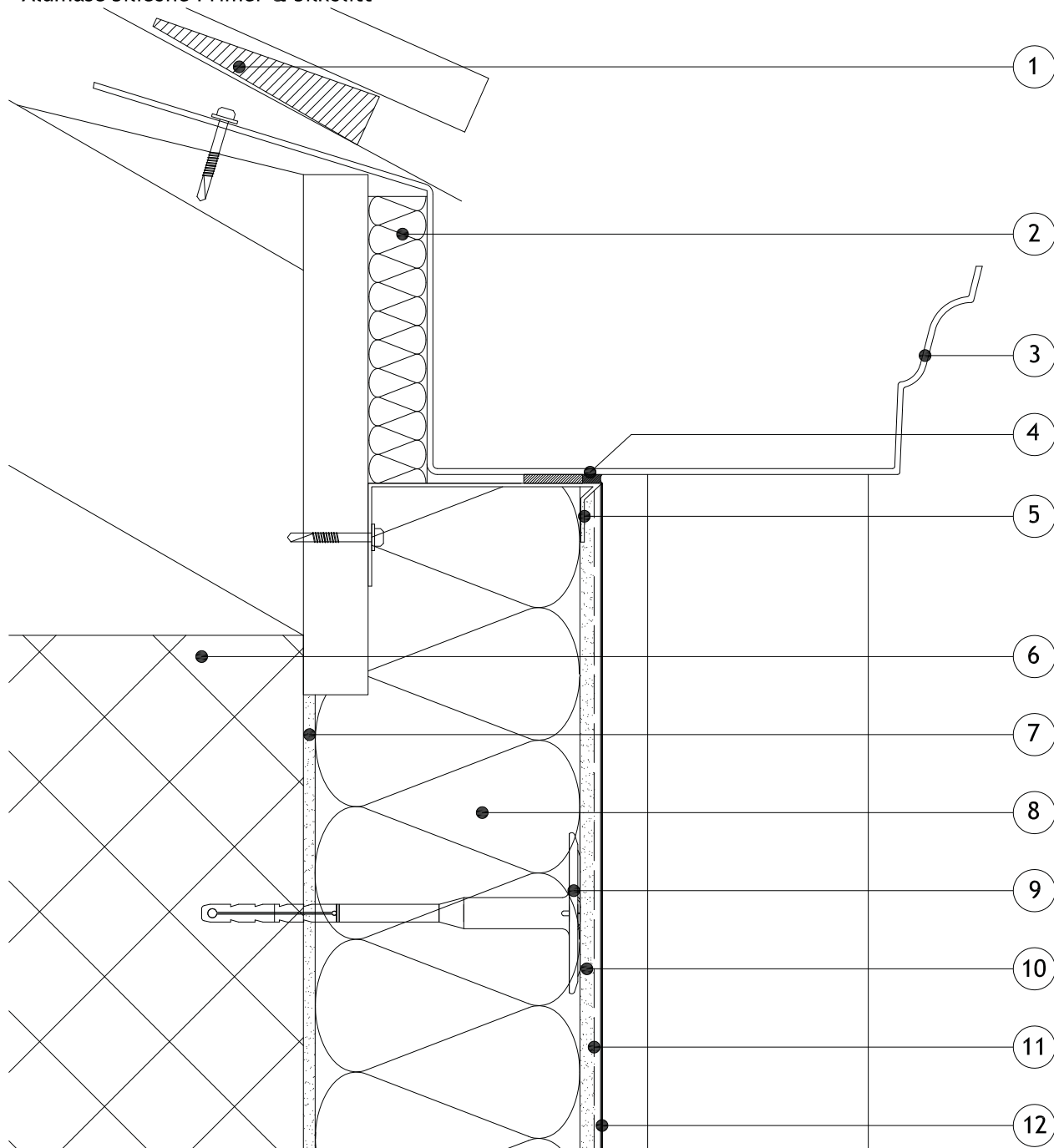
Revision:

Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Smart Vent required if roof is to be ventilated (see manufacturers instructions)
- 2 - 20mm Insulation behind gutter to aid cold bridging
- 3 - Alumasc Moulded Ogee Gutter
- 4 - Alumasc Sealing Tape with Low Modulus Silicone Sealant (as per specification)
- 5 - Alumasc Inverted Stop Bead (as per specification)
- 6 - Masonry Structure
- 7 - M.R. Bedding Adhesive (if required, please refer to specification)
- 8 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 9 - Alumasc Approved Mechanical fixing (as per specification)
- 10 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 11 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 12 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
 EWI Gutter Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-703

Scale:

NTS

Revision:

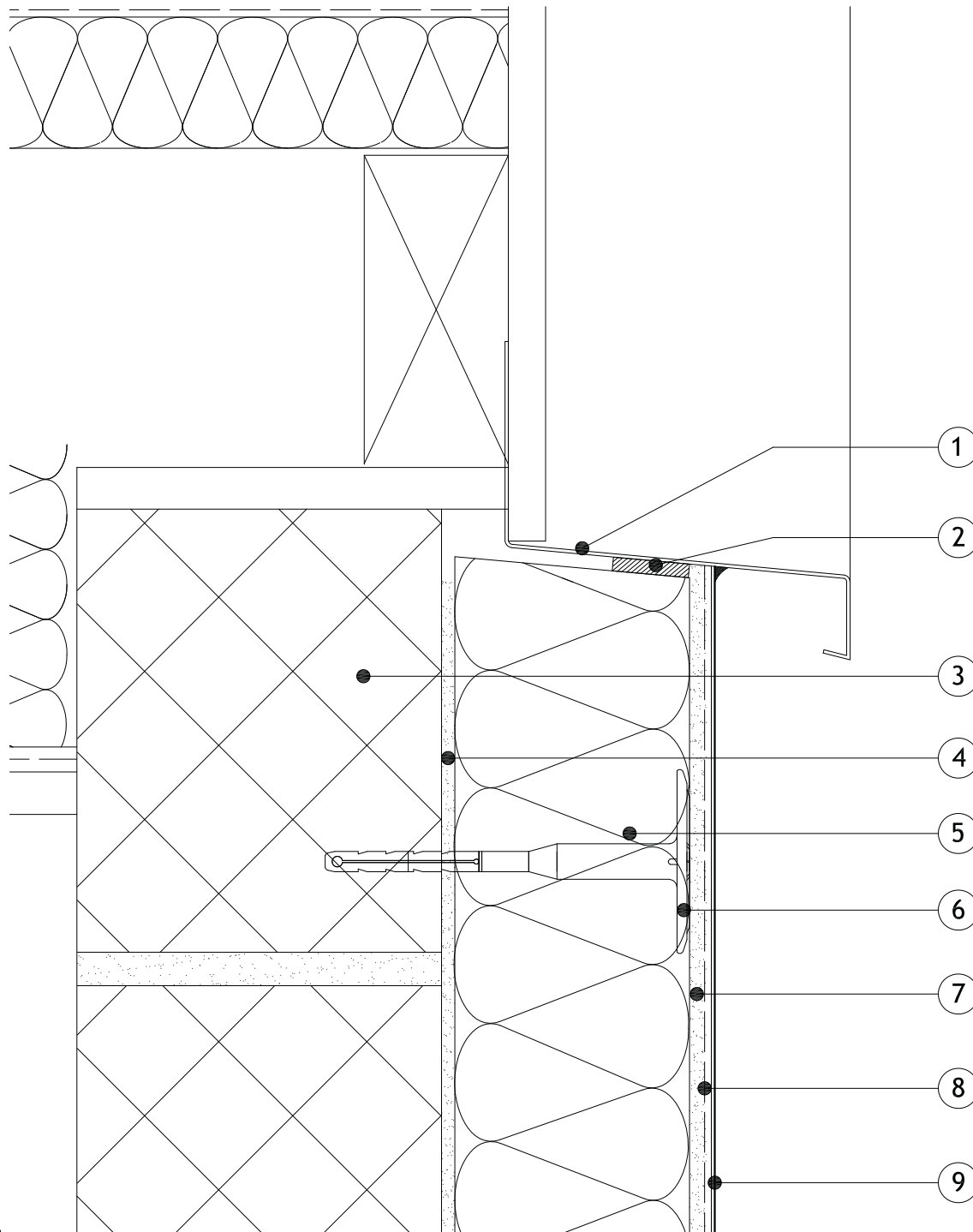
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Alumasc Verge Trim with upstand back leg (as per specification)
- 2 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-702 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Verge Trim Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-704

Scale:

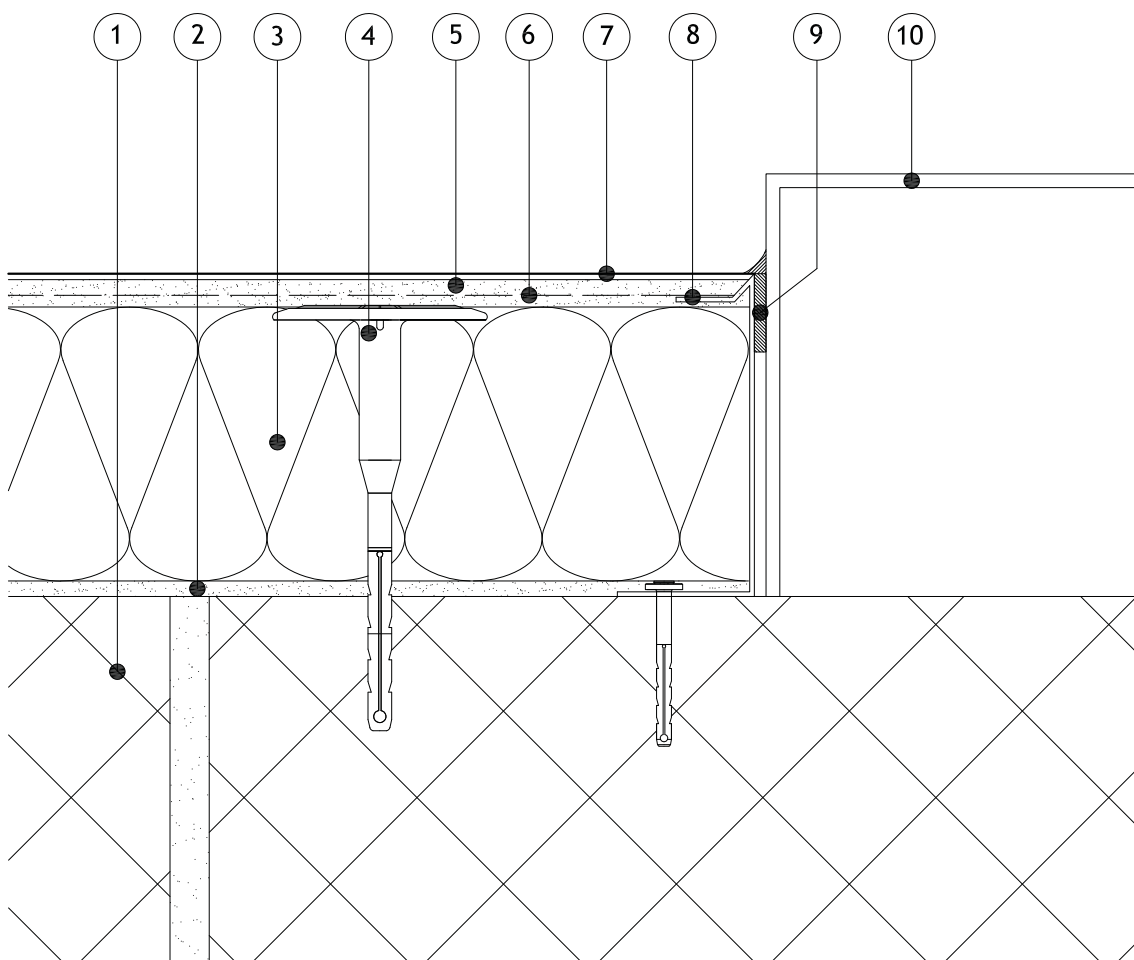
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc System Stop Bead (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 10- Gas Box/Abutment



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-804 for best practice.



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 E-mail: info@alumascfacades.com

Drawing title:

**Silkolitt Pro EWI System
 Abutment Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-800

Scale:
NTS

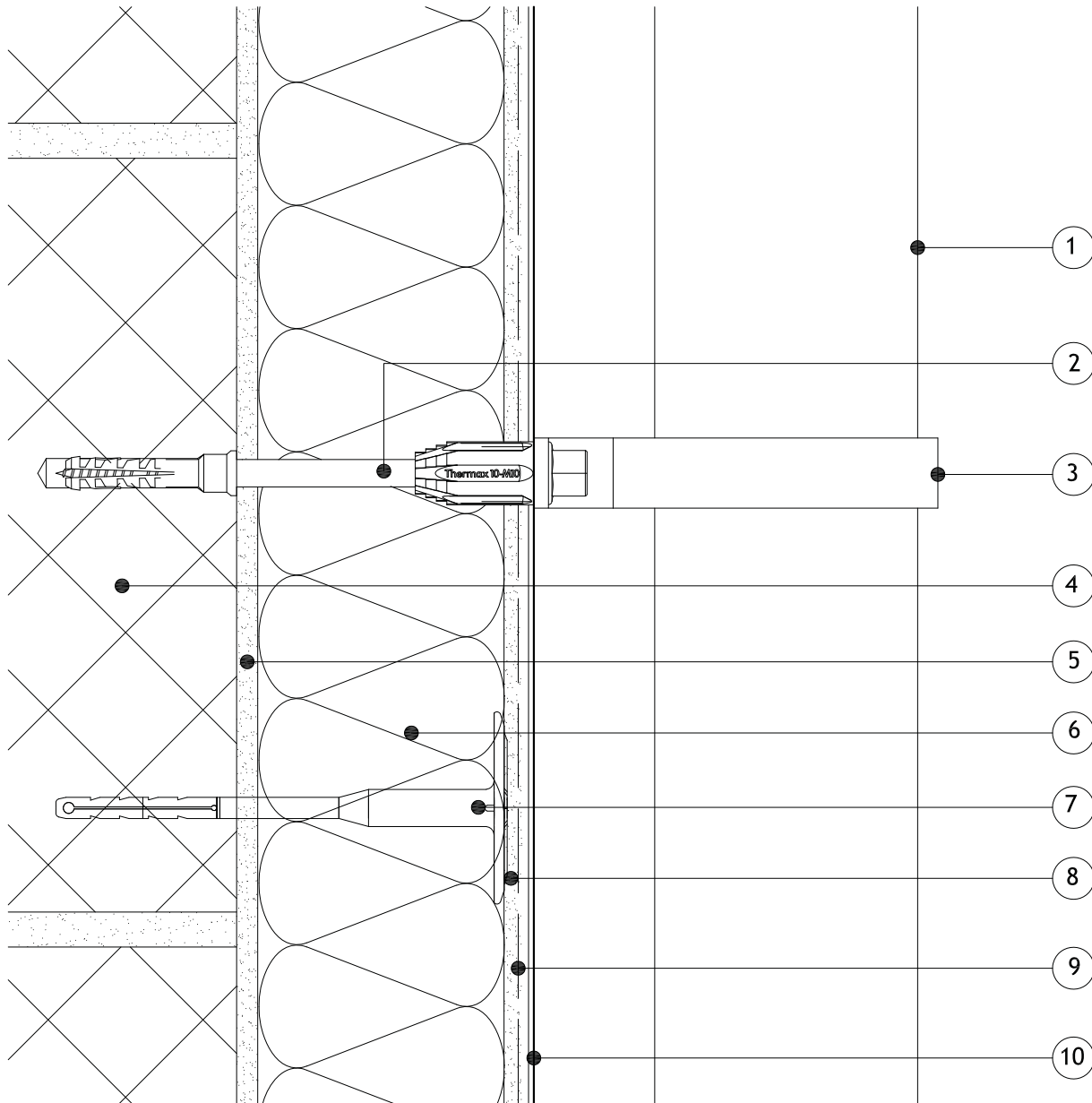
Revision:

Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - External attachment (rainwater goods/satellite dish)
- 2 - Approved mechanical fixing (as per specification)
- 3 - Connecting bracket
- 4 - Masonry Structure
- 5 - M.R. Bedding Adhesive (if required, please refer to specification)
- 6 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 7 - Alumasc Approved Mechanical fixing (as per specification)
- 8 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 9 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 10 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
External Attachment Fixing Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-801

Scale:

NTS

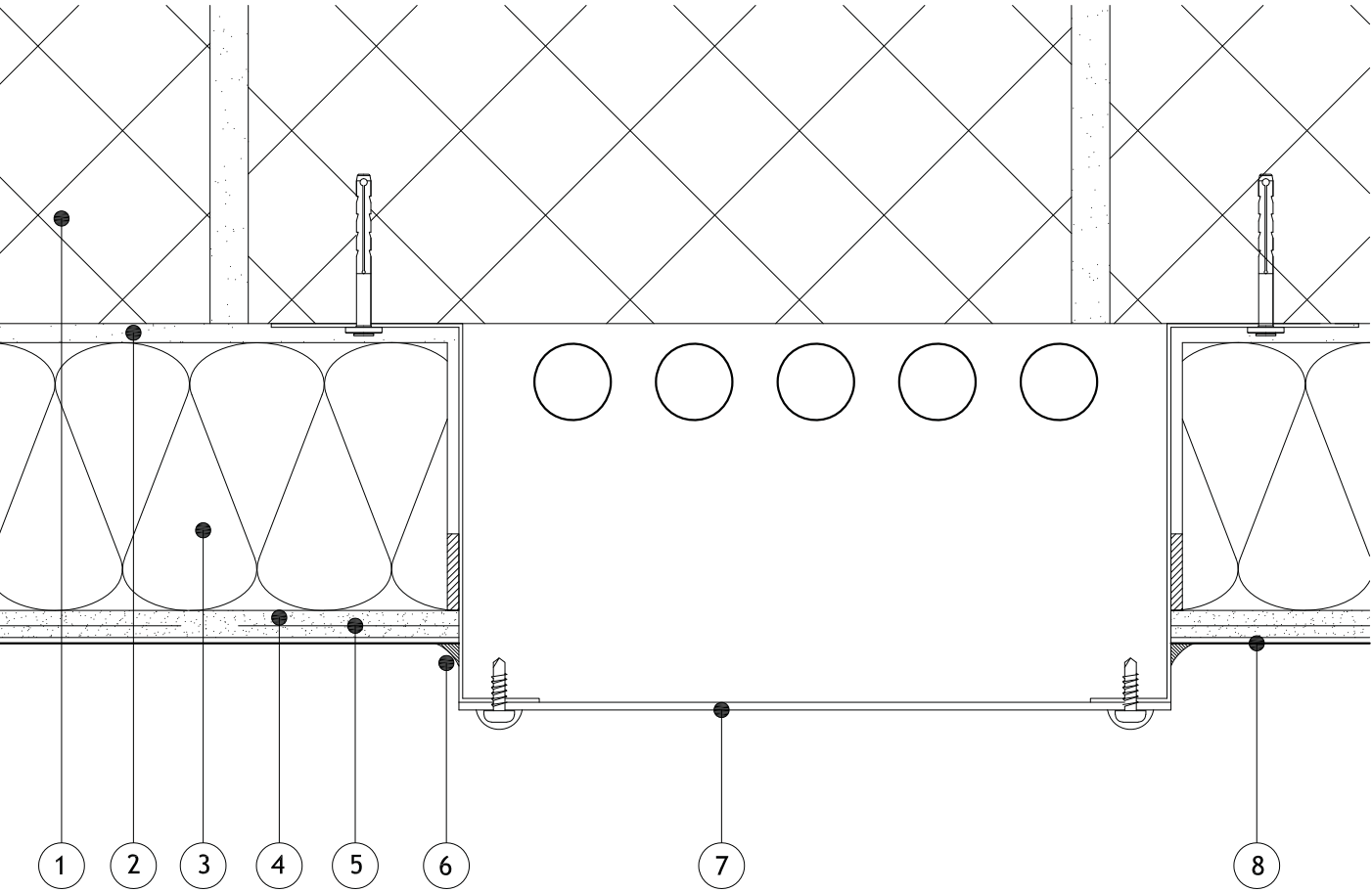
Revision:

Date:

01.08.2017

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 5 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 6 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 7 - Ducting
- 8 - Alumasc Silicone Primer & Silkolitt



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.
- 2. Please be aware that this detail creates a potential cold bridge.

Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.



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Drawing title:
**Sikolitt Pro EWI System
Trunking Detail**

Detail is valid only when approved by the Architect / Contractor concerned

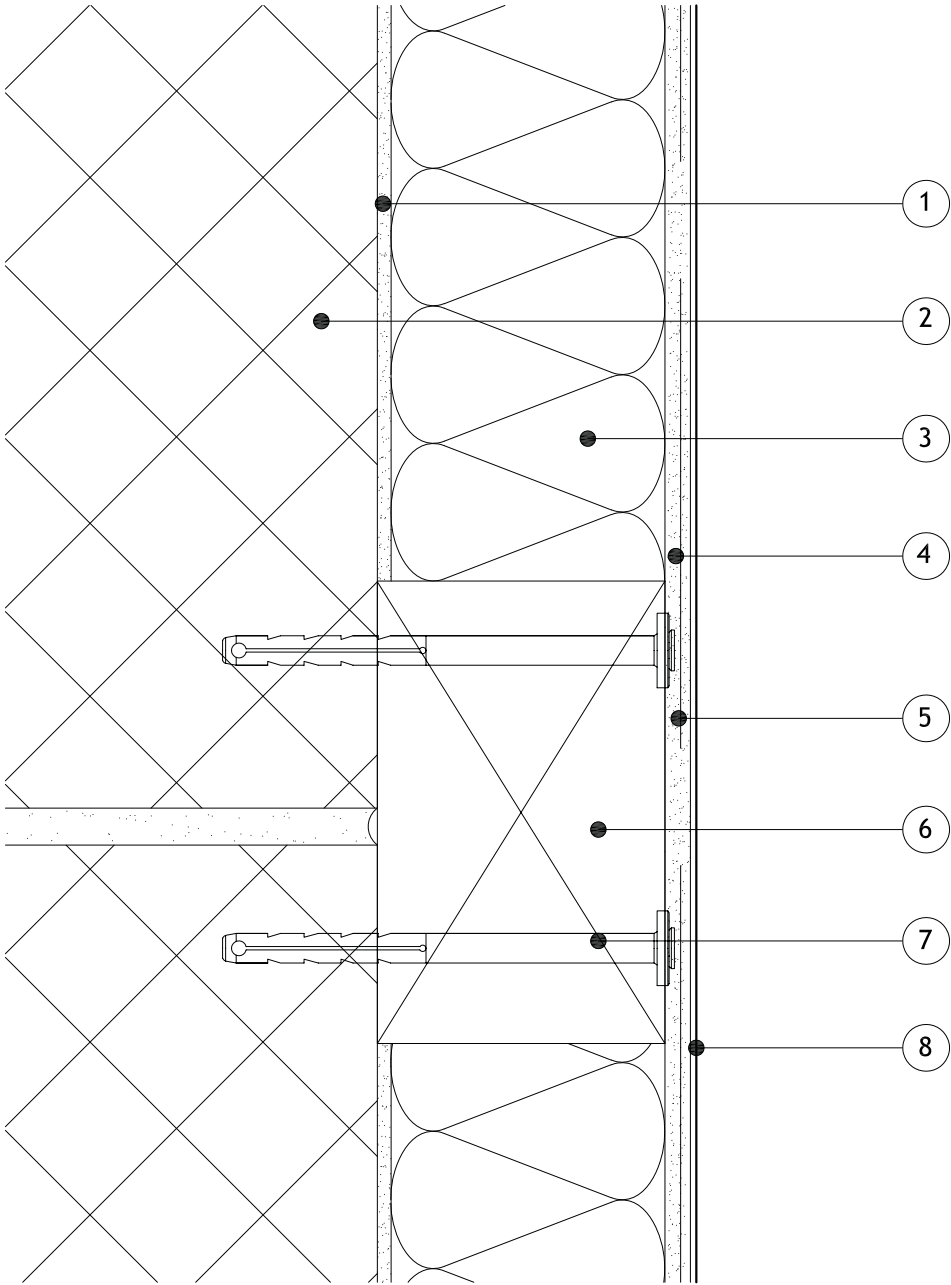
Drawing No:
S-PRO-M-802

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 5 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 6 - Timber Patress
- 7 - Alumasc Silicone Primer & Silkolitt



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:
**Silkolitt Pro EWI System
Patress Detail**

Detail is valid only when approved by the Architect / Contractor concerned

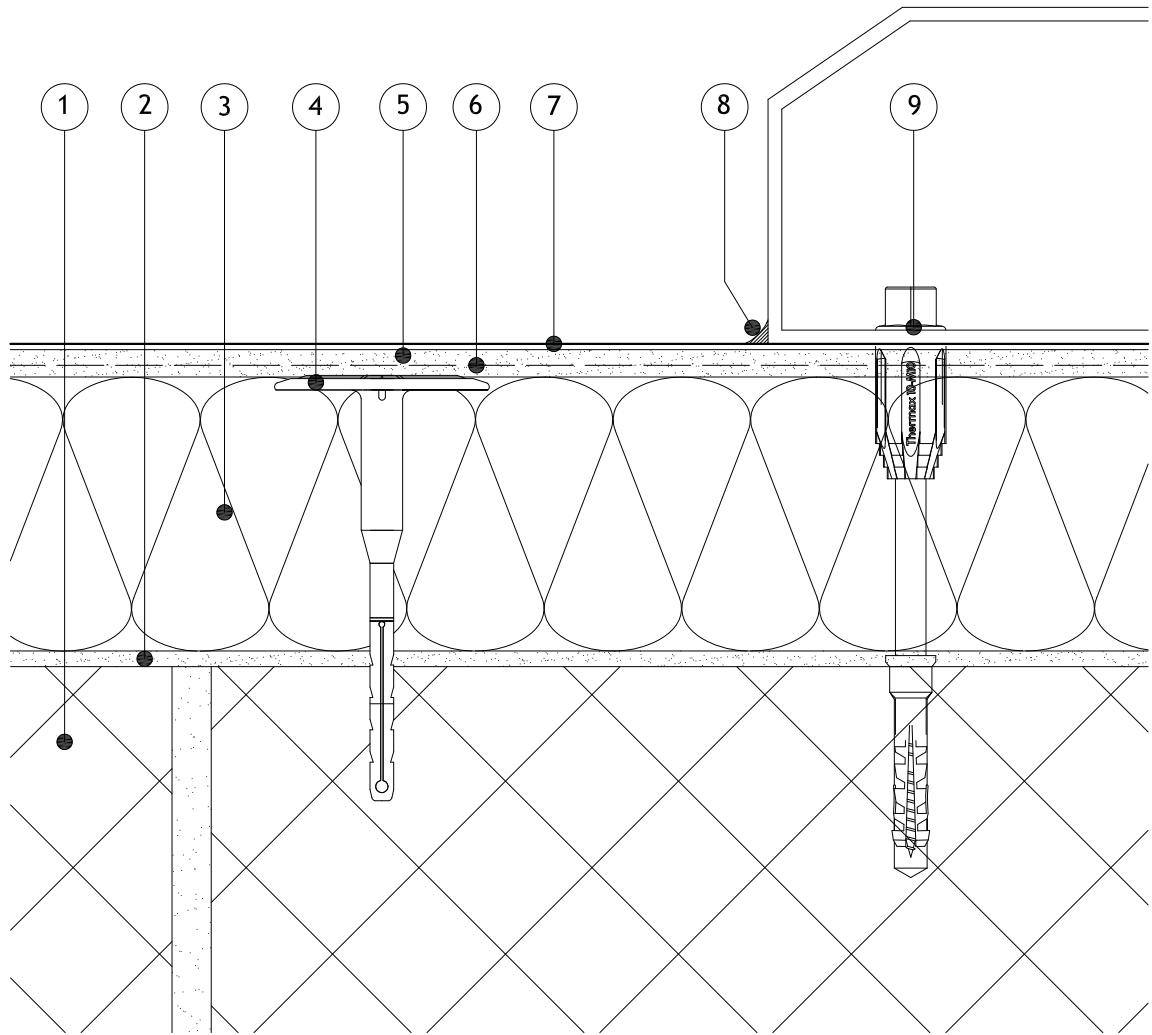
Drawing No:
S-PRO-M-803

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Low Modulus Silicone Sealant
- 9 - Gas Box/Abutment surface mounted and mechanically fixed (as per specification)

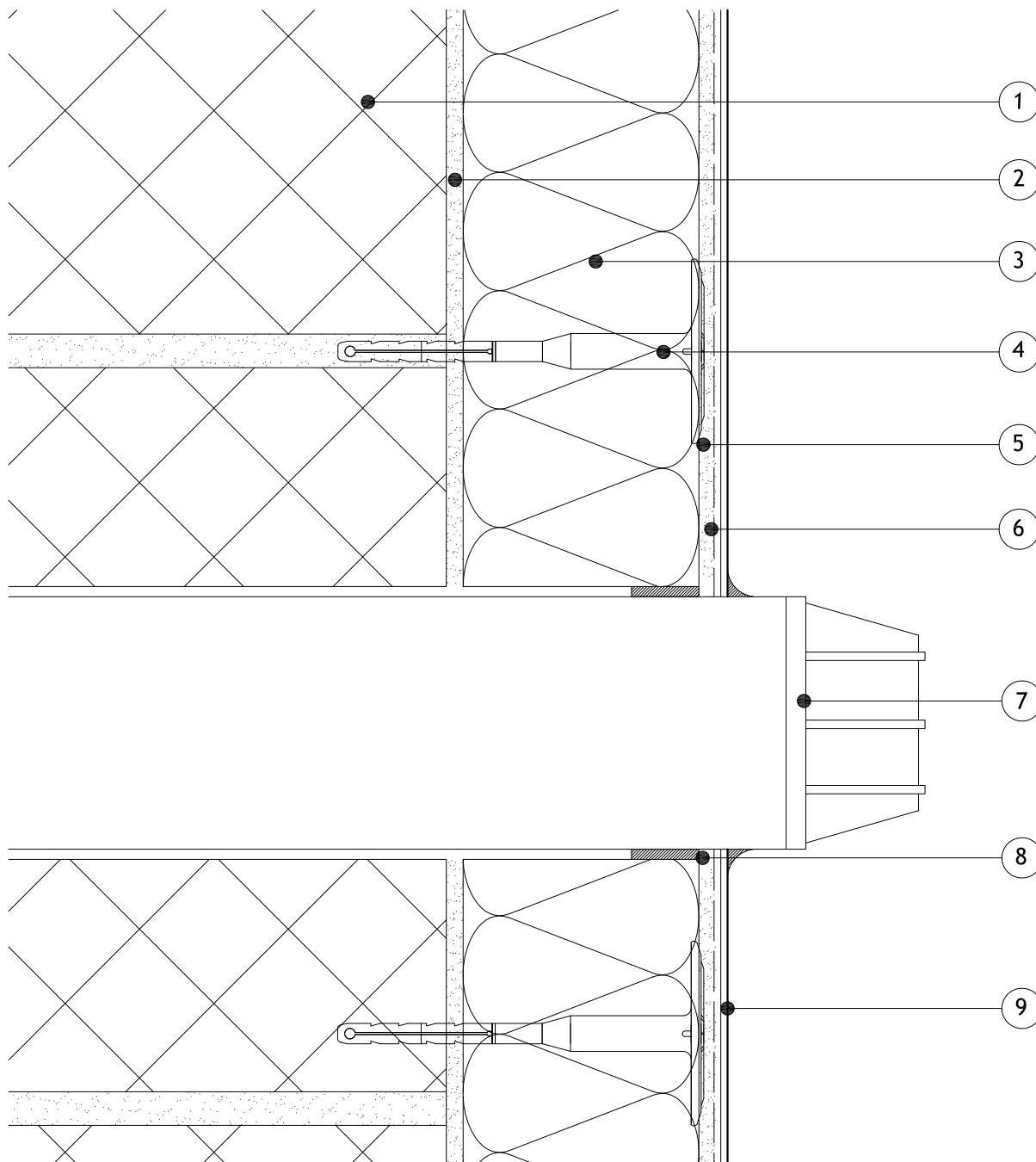


Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Pipe penetration
- 8 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Pipe/Service Penetration Detail**

Detail is valid only when approved by the Architect / Contractor concerned

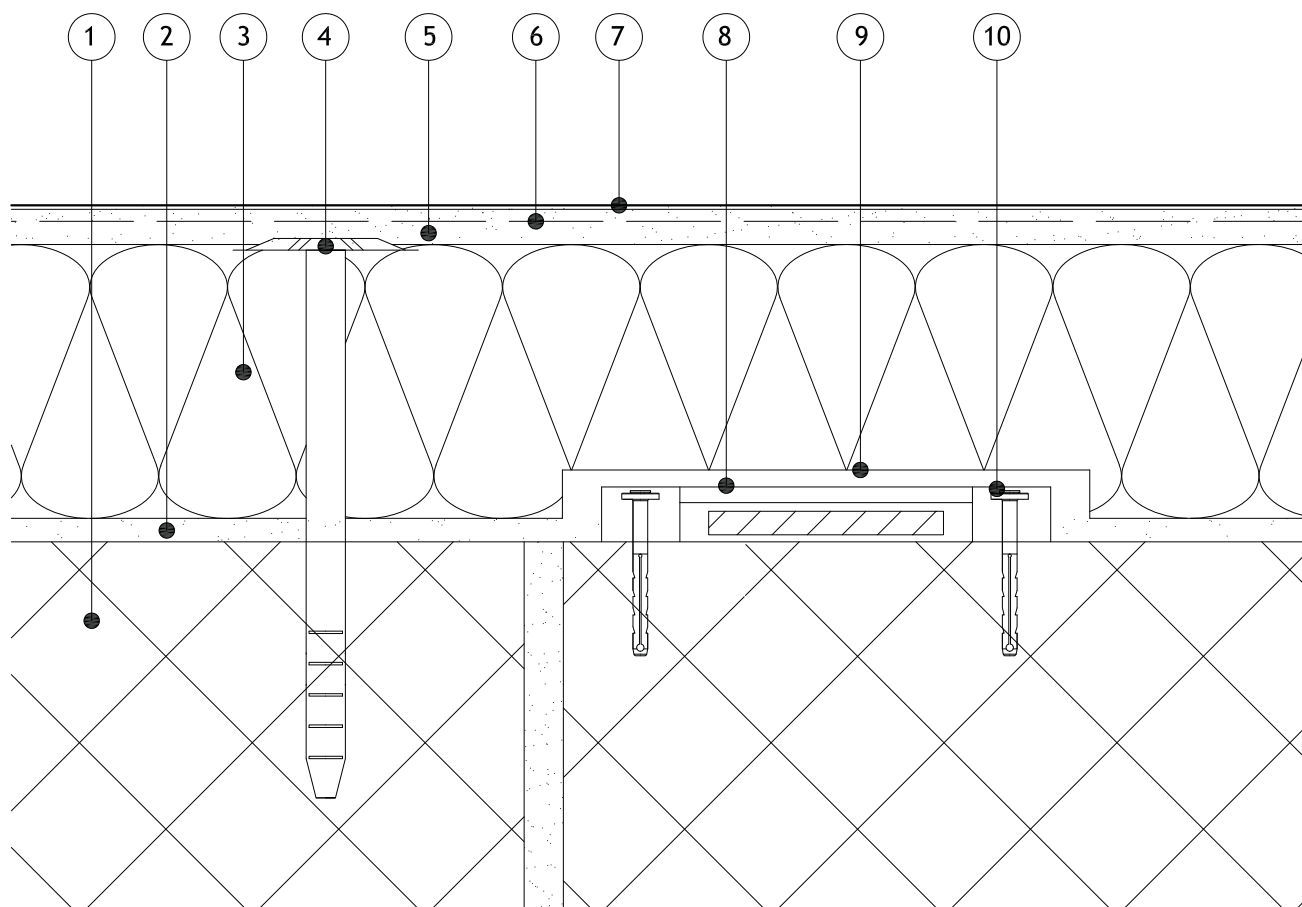
Drawing No:
S-PRO-M-805

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Lightning Conductor mechanically fixed back to the substrate
- 9 - Insulation board notched out with a 10mm gap around conductor and brick-bonded over lightning conductor min. 200mm
- 10 - Approved mechanical fixing (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
Lightening Conductor Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-806

Scale:
NTS

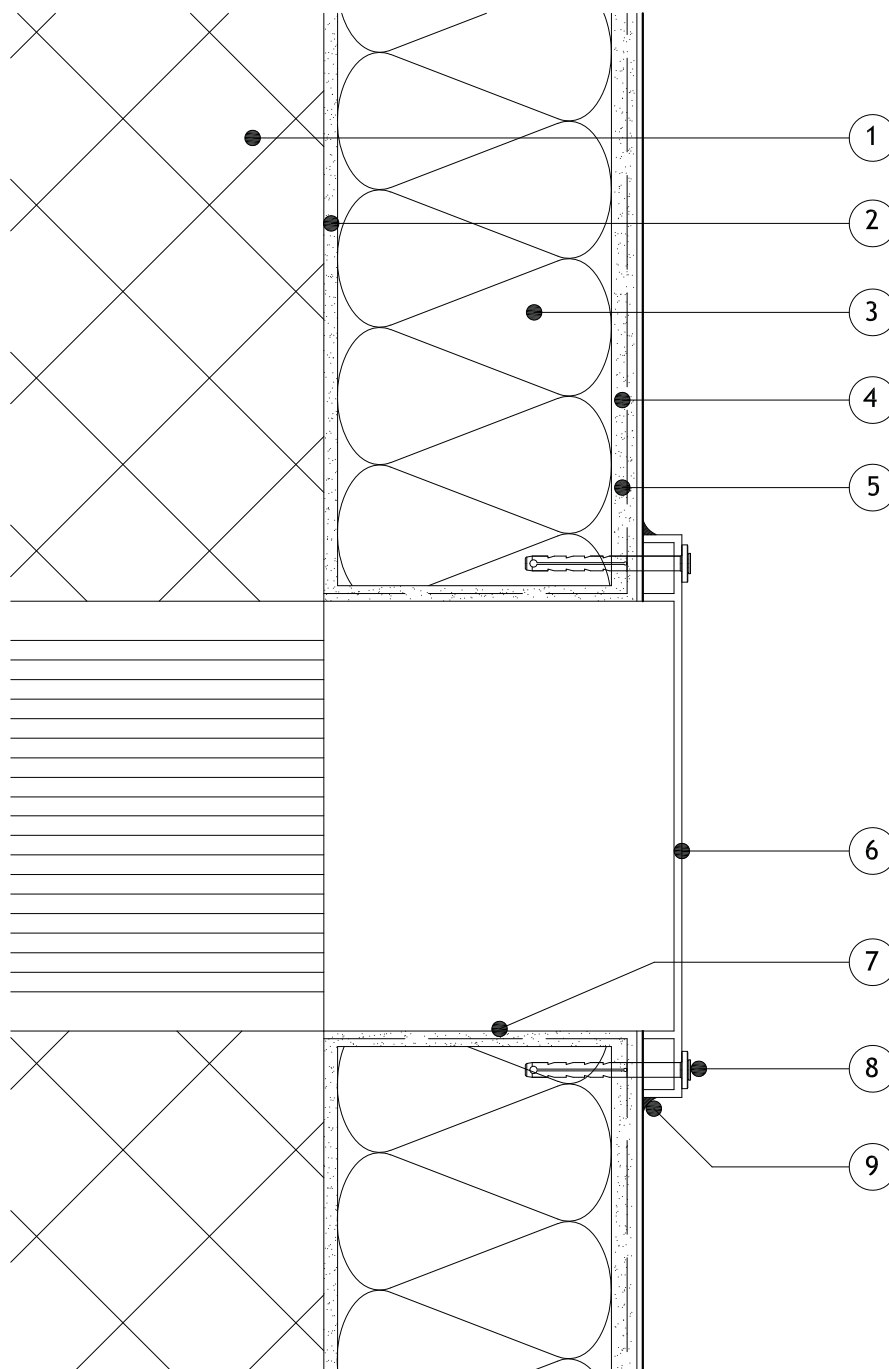
Revision:

Date:
01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 5 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 6 - Air Vent positioned over existing bedded onto Alumasc Low Modulus Silicone Sealant and fixed through the system
- 7 - Alumasc Base Coat and Scrim Reinforcement returned into the reveals of the air vent
- 8 - Approved mechanical fixing (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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 Facsimile: +44 (0)1744 648401
 Website: www.alumascfacades.com
 E-mail: info@alumascfacades.com

Drawing title:

**Silkolitt Pro EWI System
 Vent Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-807

Scale:

NTS

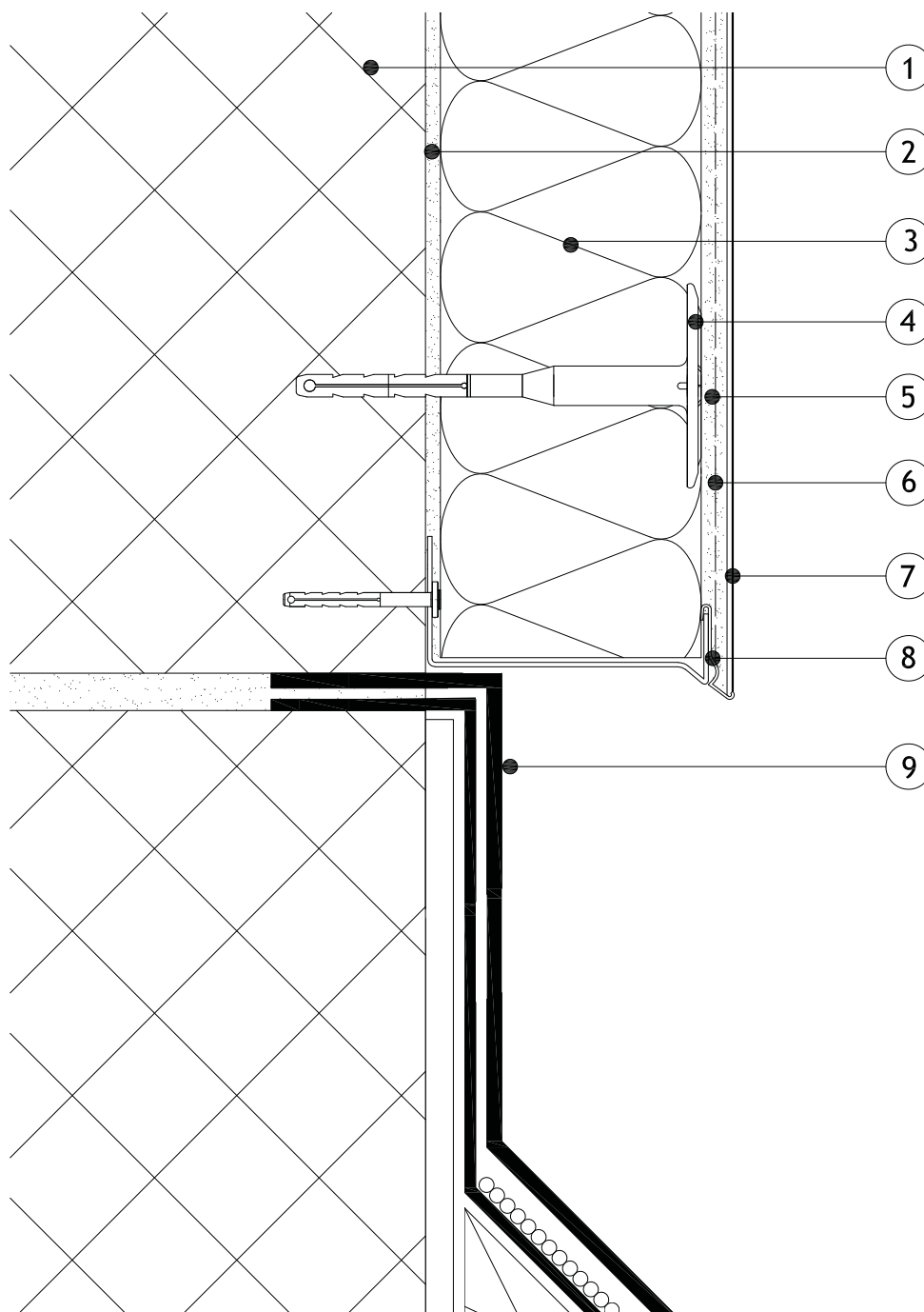
Revision:

Date:

01.08.2017

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Existing Roof detail

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-809 for best practice.



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 E-mail: info@alumascfacades.com

Drawing title:

**Silkolitt Pro EWI System
 Roof Abutment Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-808

Scale:

NTS

Revision:

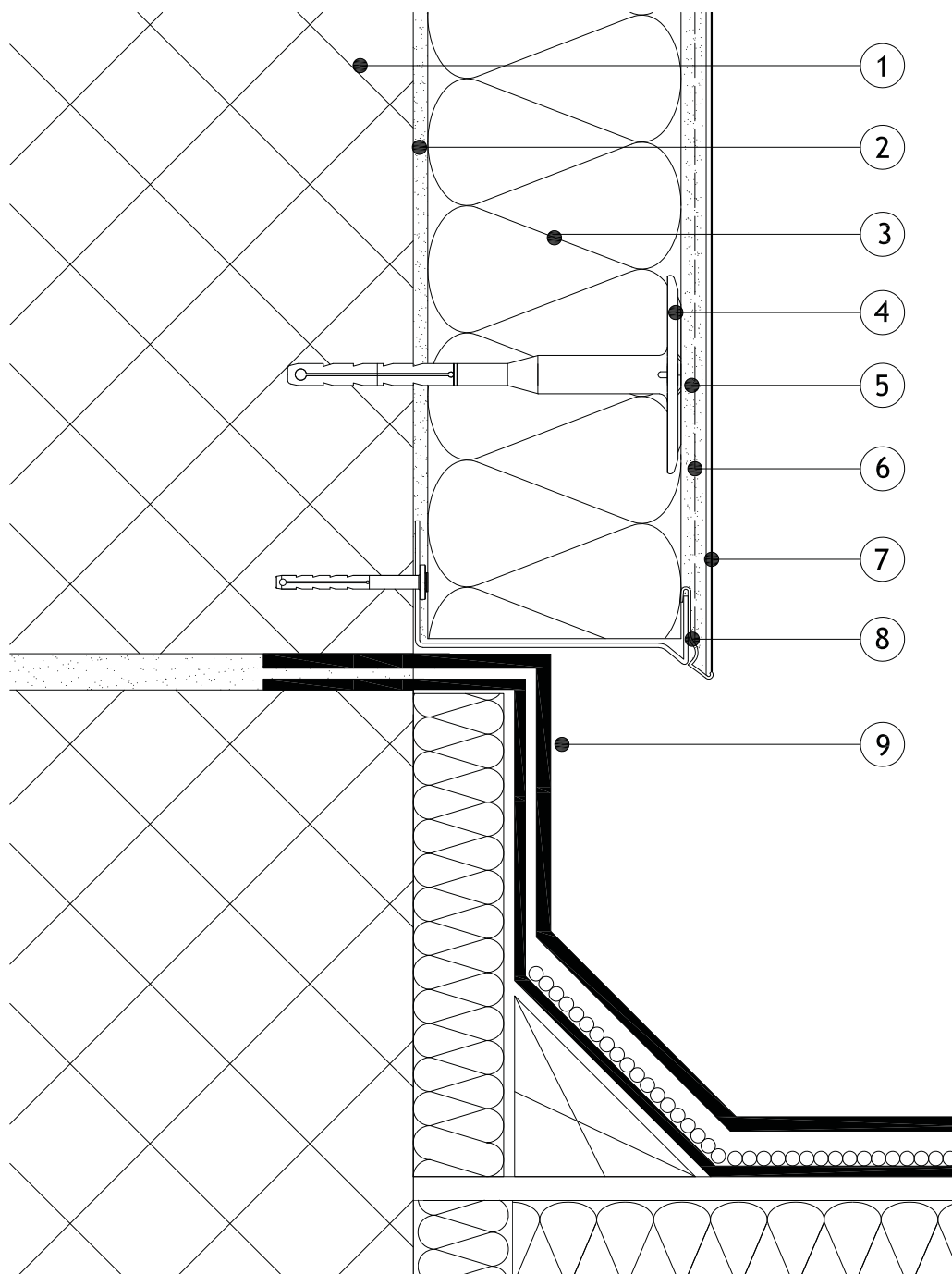
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Existing Insulated Roof detail



Notes:-

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Drawing title:

**Silkolitt Pro EWI System
 Roof Abutment Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-809

Scale:

NTS

Revision:

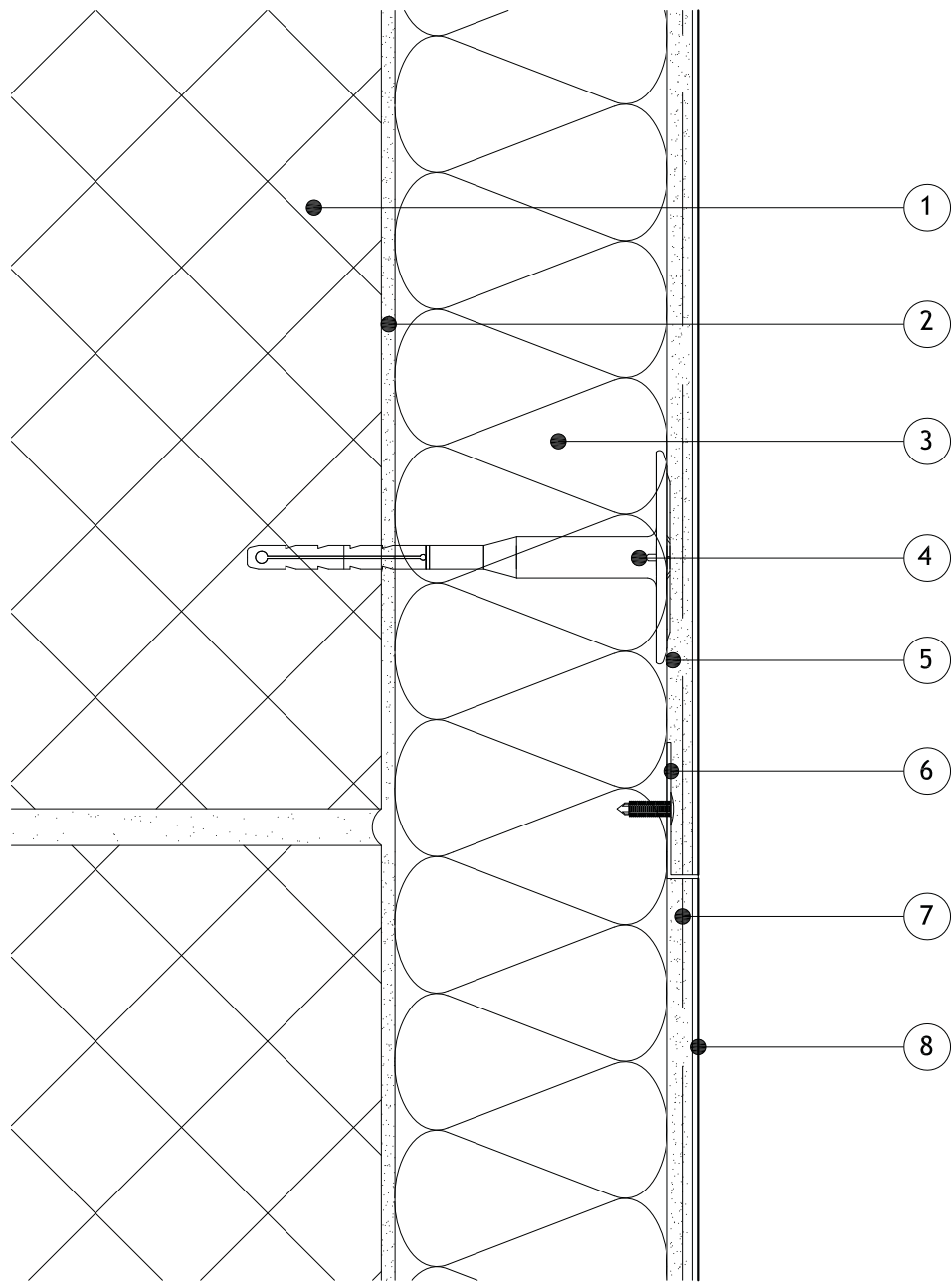
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- 1 - Masonry Structure
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- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc PVC Stop Bead fixed with Fir Tree fixings (as per specification)
- 7 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 8 - Alumasc Silicone Primer & Silkolitt

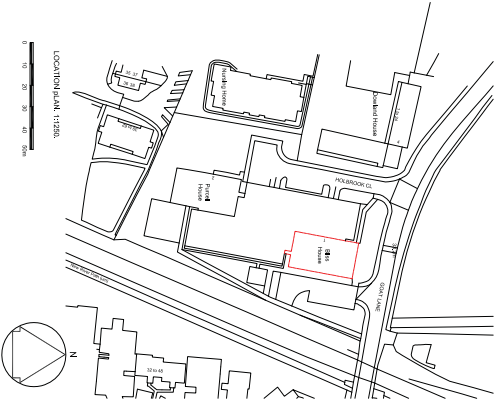
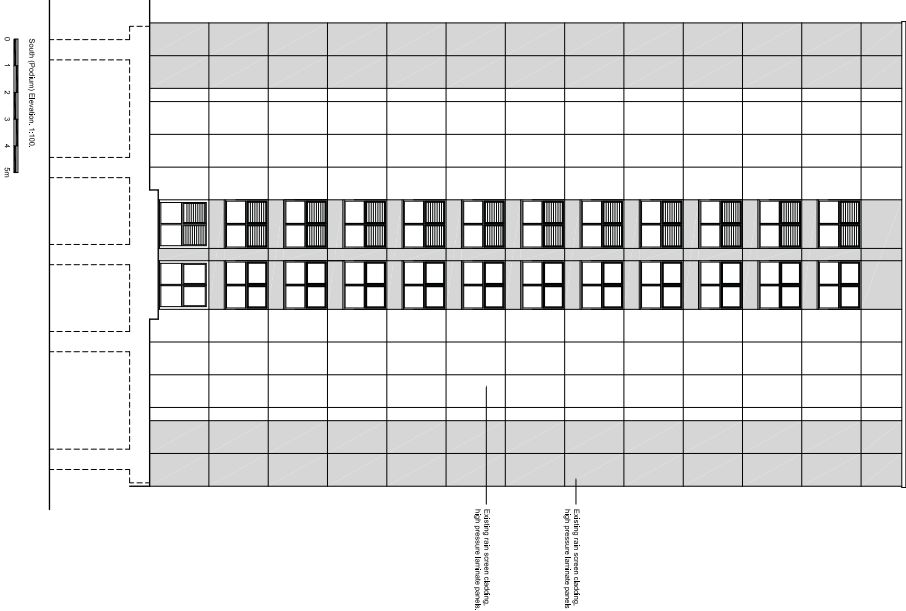
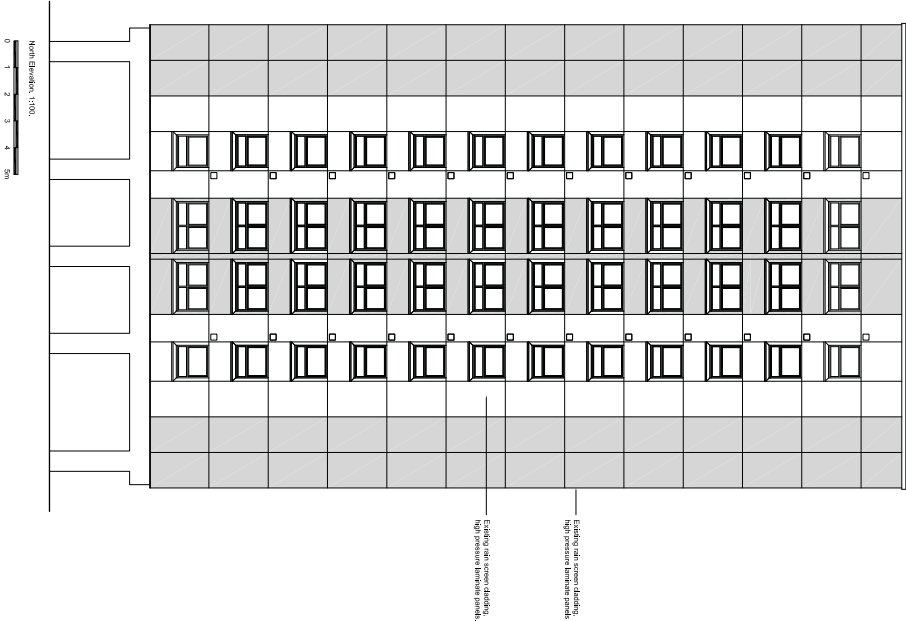


Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

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	Drawing No: S-PRO-M-900		Scale: NTS	
	Revision:		Date: 01.08.2017	

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2. All dimensions are to be reported prior to work commencing.
3. All dimensions to be checked on the prior to work commencing.
4. All dimensions are to be reported prior to work commencing.
5. For specialist works see relevant consultants/suppliers drawings.



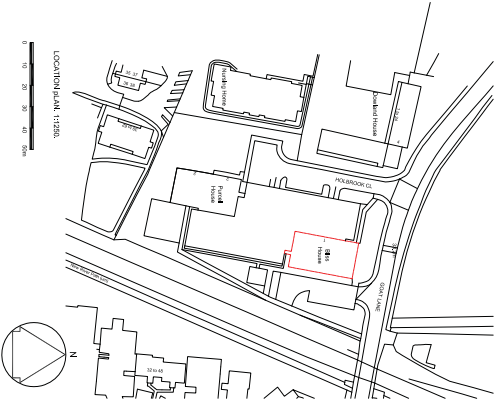
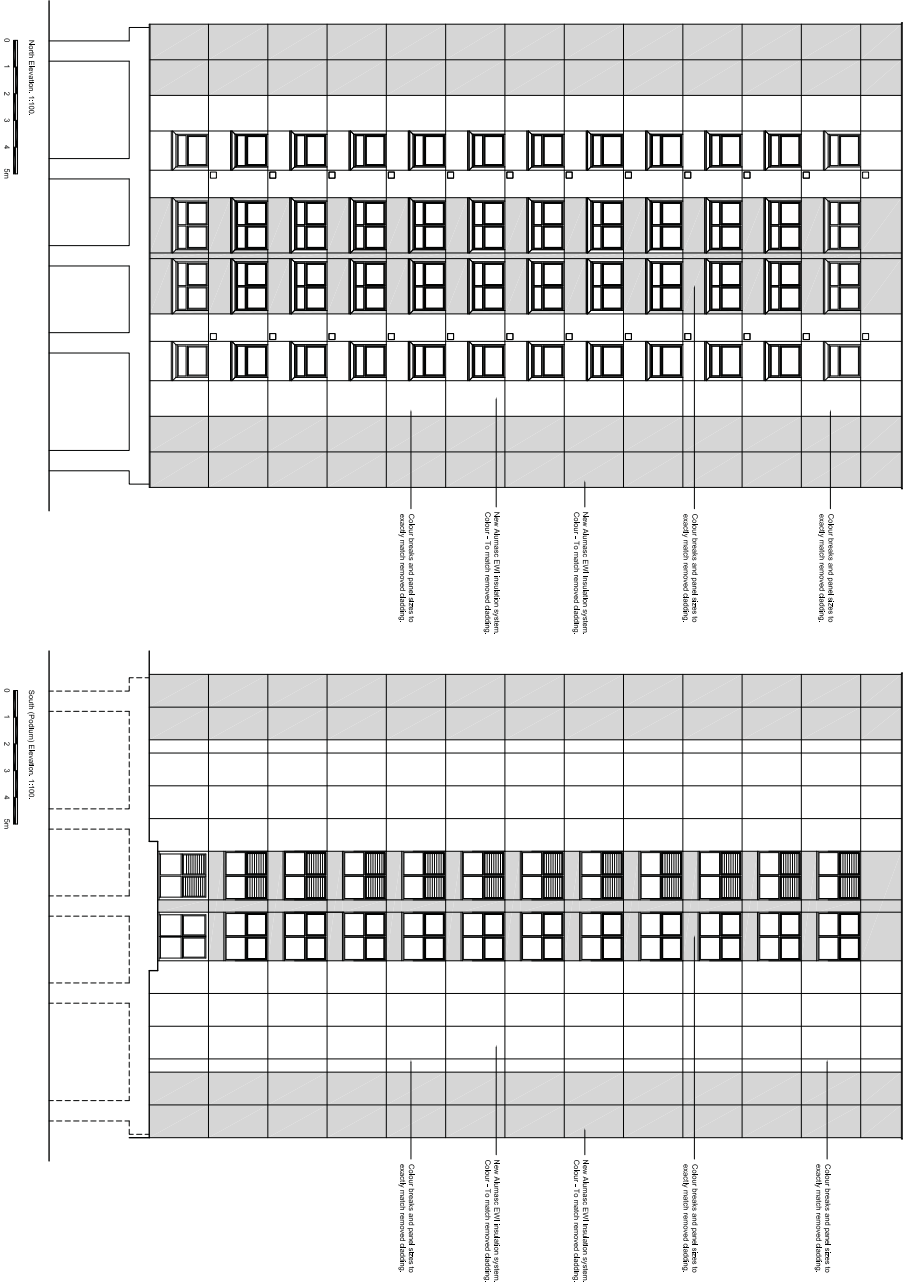
Client
ENFIELD COUNCIL
Conquest House
Quorn Station Road
EN9 2LN

Project
Silver Street, Enfield, EN9 2LN
External Refurbishment Works.
1-72 Silver Street, 1-72 Silver Street, Enfield, EN9 2LN


Existing site

Issue
March 2019
Scale
1:1000 (plan)

Drawing number
EC/BH/002
1 of 1



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3. All dimensions to be checked on the prior to work commencing.
4. All dimensions to be checked on the prior to work commencing.
5. For specialist works see relevant consultants/suppliers drawings.



Conquest House
Quinn Square, Dublin
D04 1K1

client
ENFIELD COUNCIL

project
Silver Street, Enfield, EN1 5SA

project
External Refurbishment Works.

location
1472 Silver Street, Enfield, EN1 5SA

date
March 2019.

scale
1:1000

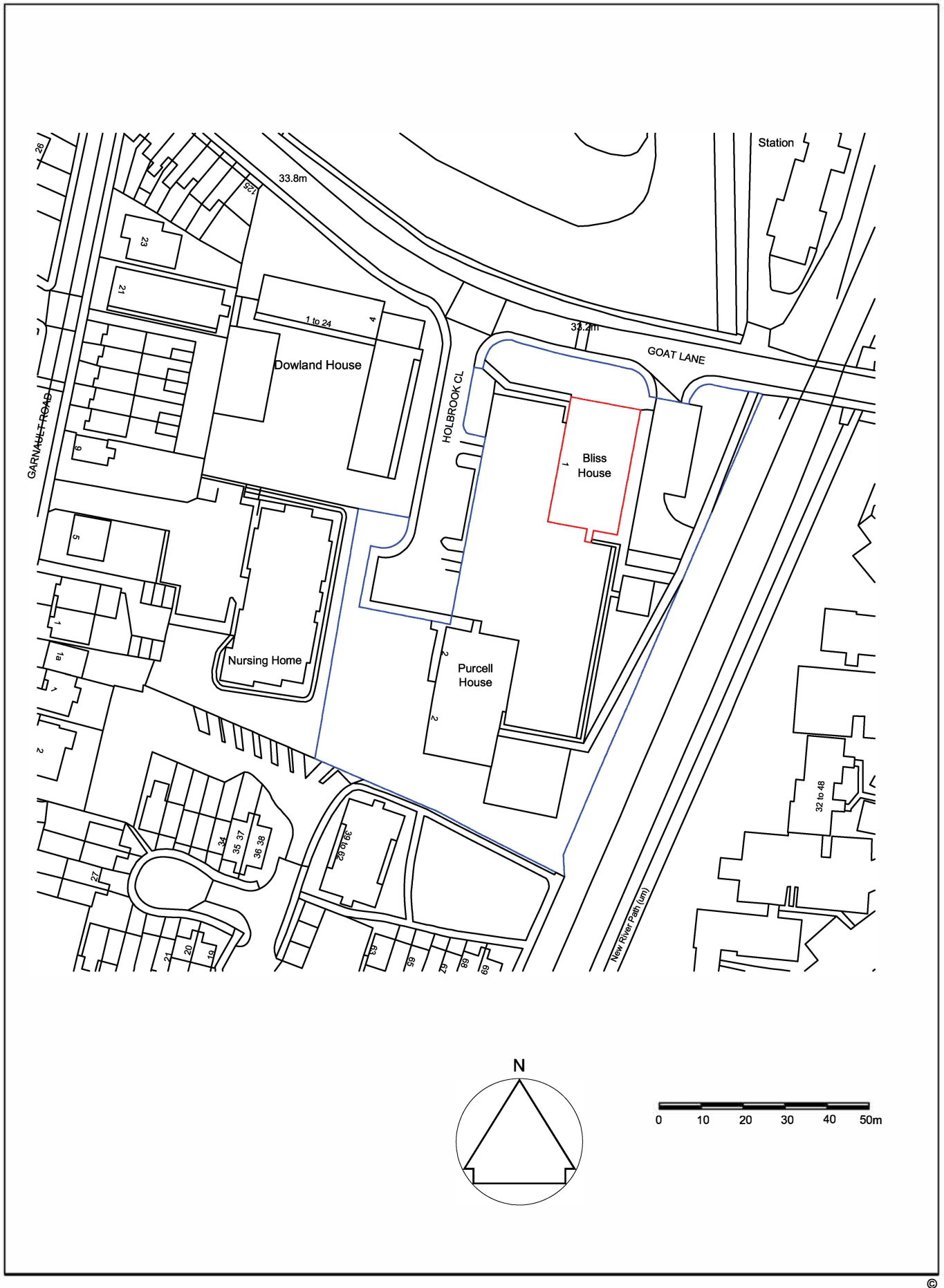
drawing number
1 of 1

scale
1:1000

sheet no.
1 of 1

rev
-

PROPOSED ELEVATIONS.



TITLE 1-72 Bliss House, 1 Holbrook Close, Enfield. EN1 4UL

EC/BH/001.

REV -

DWG LOCATION PLAN.

SCALE @ A4 DWG NO

1:1250.

DATE

March 2019.



Conquest House
Church St. Waltham Abbey
EN9 1DX

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 25th June 2019

Report of
Head of Planning

Contact Officer:
Andy Higham
Elliott Doumanis
Tel No: 02083795518

Ward:
Palmers Green

Ref: 18/03659/FUL

Category: Full Application

LOCATION: Honeysuckle House, 1A Oakthorpe Road, London, N13 5HY

PROPOSAL: Redevelopment of site involving demolition of existing building and erection of 3 storey 82 bed care home involving basement level, with associated access, parking and landscaping.

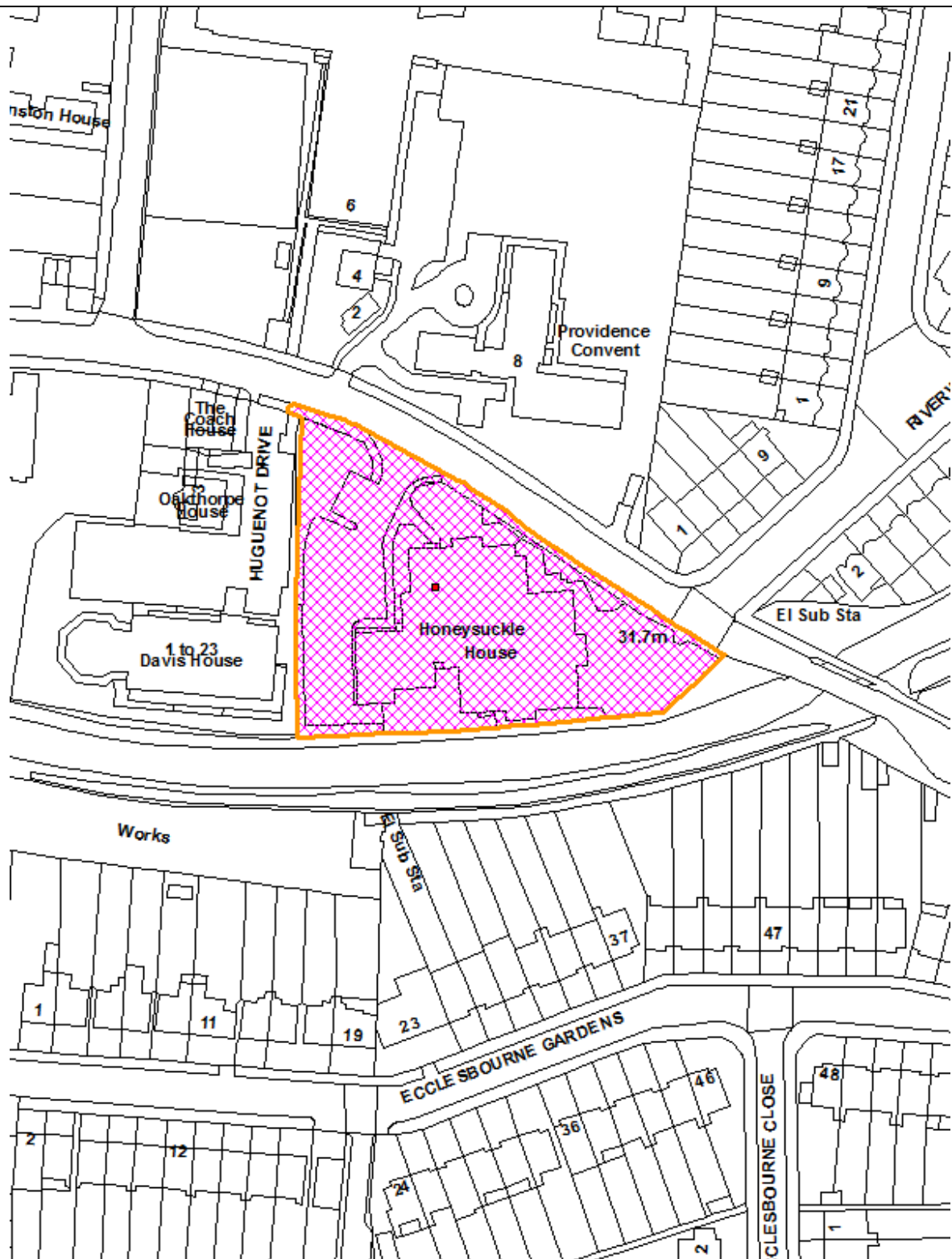
Applicant Name & Address:
Hamberley Development Ltd
C/O Agent

Agent Name & Address:
Mr Matthew Johnson
1 Gracechurch Street
London
EC3V 0DD

RECOMMENDATION:

That planning permission be GRANTED subject to conditions.

Ref: 18/03659/FUL LOCATION: Honeysuckle House, 1A Oakthorpe Road, London, N13 5HY



1.0 Recommendation

- 1.1** That subject to the completion of the S106 legal agreement, the Head of Development Management / Planning Decisions Manager, be authorised to GRANT planning permission subject to the following conditions:

1. Time Limited Permission- 3 years.
2. Approved Plans
3. Details of Materials
4. Details of Hard Surfacing
5. Details of Levels
6. Details of Enclosure
7. Landscaping Plan
8. Details of Green Roof
9. Details of Refuse Storage & Recycling Facilities
10. Cycle parking spaces
11. Private Parking Only – Staff and Visitor Parking Areas
12. Construction Methodology
13. Energy Statement
14. EPC's
15. Contamination
16. Ecology
17. Restriction of Use C2 Residential Care Home
18. Electric Vehicle Charging Points
19. Details of Sustainable Drainage Systems
20. Sustainable Drainage Verification Report
21. No additional fenestration
22. Site waste management plan
23. Rainwater recycling system feasibility study
24. No clearance during birds nesting
25. BREEAM Multi-residential or relevant equivalent rating of 'Excellent'

- 1.2** Authority is also requested to enable officers to amend / update the wording of the above mentioned conditions to ensure they reflect any issues raised by Planning Committee and / or reported updates at the meeting.

2.0 Executive Summary

- 2.1** The proposal involves the redevelopment of this site involving demolition of the existing redundant residential care home and the erection of 3 storey 82 bed care home involving basement level, with associated access, parking and landscaping.
- 2.2** The vacant building was formerly Council owned.
- 2.3** The proposed development reflects the objective of placing service users into residential nursing care. There is a significant shortage of available accommodation within the borough and neighbouring areas, and evidence shows that this shortage is likely to continue due to increasing demand with an increase in the number of older people and improvements in overall life expectancy.
- 2.4** In principle, the use is considered acceptable as it is compatible with the character and appearance of the surrounding area. Its scale and design would not detract from the setting of the adjacent historic asset nor would it detract

from the amenities of neighbouring occupiers. Parking and access are also considered acceptable.

- 2.1 The development is therefore considered policy compliant and is recommended for planning approval subject to planning conditions.

3.0 Site and surroundings

- 3.1 The application site is currently occupied by a vacant residential care home (Use Class C2). The building is 2 storeys with a pitched roof, and this accommodates 32 bedrooms. The site provides 19 car parking spaces to the west of the building which is accessed via a single vehicle entrance. There are a number of trees on site which are covered by a Tree Preservation Order and situated to the south of the site adjacent to the New River. There is an existing neighbouring residential development to the west located within the grounds of a Grade II heritage listed dwelling, known as 'Truro House'. Directly opposite across Oakthorpe Road is a school site and to the rear is the existing watercourse (New River).
- 3.2 The surrounding character is a mix, and in terms of scale existing buildings range from 2 to 4 storeys high.
- 3.3 The site is not within a Conservation Area nor are there any Listed Building's on site, however it is noted that neighbouring Truro House is Grade II statutory Listed.
- 3.4 The site has a PTAL rating of 3 and has an area of approximately 3600sqm or 0.36ha.

4.0 Proposal

- 4.1 The applicant seeks full planning permission for the redevelopment of the site involving demolition of the existing building and the erection of a 3 storey, 82 bedroom care home involving basement level, with associated access, parking and landscaping.
- 4.2 The design and access statement submitted with the proposal indicates that the care home would offer bedrooms for the frail elderly including residential care, nursing care and specialist dementia care. There are also bedrooms that offer accommodation for more independent older people who still require a certain level of support and/or care or have a partner living in the care home.
- 4.3 The care home will provide continuous care over a 24-hour period via a 3-shift pattern rota. No staff residential facilities will be provided.
- 4.4 The ground floor level provides bedrooms, communal facilities rooms, communal open space and car parking. The first and second floor levels also contain bedrooms, communal facilities and communal open space areas.
- 4.5 The building mass has been arranged in three distinct sections. The primary building mass is aligned to Oakthorpe Road. It would consist of a 3 storey building, with a portion of the ground floor level set below street level due to the sloping topography of the site. The secondary mass on the south of the site, is positioned toward the neighbouring property to the west and the New River. The two building elements are connected with a link building, which is articulated to provide communal open space areas overlooking the river.

- 4.6 Pedestrian access to the site would be from Oakthorpe Road via a separate pathway which leads to the main entrance of the building. The proposal will also utilise the existing vehicular access to the site from Oakthorpe Road. This would provide access to 33 car parking spaces (including 2 disabled spaces).
- 4.7 In consultation with the applicant, a number of amendments were made to the scheme which involved enhancing the design of the building and providing additional landscaping throughout the site. These amendments have been detailed in the main body of this report.

5.0 Relevant planning history

- 5.1 LBE/95/0001 - Demolition of existing building and redevelopment of the site by the erection of a part single storey, part 2-storey building to provide a 32 bed nursing home with associated car parking facilities. Granted planning permission.
- 5.2 17/01017/PREAPP: Proposed demolition of existing building and erection of a part 3, part 4-storey building to provide a 92-bed care home (C2) with associated car parking and amenity space. Pre-Application advice given and there were a number of issues raised relating to scale, massing and layout, design, impact on neighbouring residential amenity, servicing and parking, sustainable drainage/flooding and trees/biodiversity. The key issues have been outlined below:

- The scheme should be amended to reduce the massing arrangement allowing for the scale to be reduced where there is a greater sensitivity to the south-east corner of the site (i.e. where 2-storey housing is opposite). Greater scale could be considered where the context is less sensitive, though anything more than 4-storeys is unlikely to be acceptable on this site given the local context.
- Further design development is recommended to explore how the plan form and/or the orientation of the building could be manipulated to create less compromised external space, alongside a more active frontage that addresses Oakthorpe Road.
- The legibility of the development is adversely affected by positioning the entrance into the care home on the side elevation fronting the car park. Rather than replicating what exists a far more prominent and legible entrance should be provided.
- The massing of the building as seen from the rear (New River) should be broken down further.
- Further design development should focus on a contextual study of the surrounding area, with key architectural elements, detail, and materiality identified that can be used positively to ensure that this scheme will reflect and enhance local character.
- The flank end and facing elevation of this 3/4 storey new build includes windows and projecting balconies facing towards Honeysuckle House. There is a potential issue here in terms of how this relationship relates to the proposed scheme. Policy DMD 10 is relevant, this sets out distancing standards that should be complied with to safeguard privacy.

- Any trees proposed for retention should be identified with tree protection details, any proposed for removal should be identified, and a schedule of replacement tree planting provided
- Given the site is adjacent to a designated Wildlife Corridor, Green Chain Corridor and Site of Metropolitan Importance for Nature Conservation an Ecology Survey is required, together with a preliminary bat roost assessment of the existing building

5.3 18/01742/PREAPP - Proposed redevelopment of site and erection of 84-bed care home. Pre-Application advice given, and the key issues raised have been outlined below:

- Re-consider the location of stair cores along the frontage building and give thought to introducing more activity at the entrance/frontage into the site (facing Oakthorpe Road)
- Reduced parking should be explored (and an acceptable quantum agreed with Transport officers), which in turn will provide greater opportunities for additional landscaping and external amenity space
- Options that maximise the external spaces to the south of the site, adjacent to New River would be welcome and must be explored as this would take advantage of a southern orientation and provide opportunity for additional overlooking and passive surveillance of the adjacent footpath alongside New River
- It is expected that a significant landscape scheme, in accordance with DMD81, forms part of any proposed development which may include the retention of some of the existing trees. It is considered that the current proposal does not appear to provide adequate separation between the building and the tree screen at the south of the site and it is suggested there is perhaps too little amenity space and too much area given over to parking. This relationship will need further consideration.
- Replacements vegetation along the southern boundary should be relatively large species, in keeping with the river side setting, whilst still providing adequate separation from the proposed building. Further details of replacement planting will be required in order to justify removal of trees along the southern edge.

6.0 Consultation

6.1 Statutory and non-statutory consultees

Traffic and Transportation

- 6.2 No objection is raised to the proposal, however additional information was requested regarding parking provision on site, servicing arrangements, refuse and recycling storage arrangements, pedestrian access and cycle parking provision. This information is assessed in the main body of this report.

SuDS

- 6.3 No objection. A revised SuDS strategy is considered acceptable, subject to conditions.

Environmental Health

- 6.4 No objection subject to conditions in relation to contamination and dust mitigation.

Urban Design

- 6.5 No objection. Comments regarding the merits of the proposed development are contained in the main body of this report.

Thames Water

- 6.6 No objection.

London Fire Brigade

- 6.7 No objection. The applicant provided additional information demonstrating compliance with the relevant criteria and this will be secured by a condition of consent.

The Canal and River Trust

- 6.8 No objection.

Trees

- 6.9 No objection. Revised drawings and additional information have been provided which is detailed in the main body of this report.

7.0 Public Consultations

- 7.1 Consultation letters have been sent to 97 neighbouring properties. Notice was displayed at the site and also advertised in the local paper.

- 7.2 No objections have been received.

8.0 Relevant Policy

8.1 London Plan

Policy 3.1 – Ensuring Equal Life Chances For All

Policy 3.2 – Improving Health and Addressing Health Inequalities
 Policy 3.5 - Quality and design of housing development
 Policy 3.9 - Mixed and balanced communities
 Policy 5.1 - Climate change mitigation
 Policy 5.2 - Minimising carbon dioxide emissions
 Policy 5.3 - Sustainable design and construction
 Policy 5.7 - Renewable energy
 Policy 5.10 – Urban Greening
 Policy 5.11 – Green Roofs
 Policy 5.13 - Sustainable drainage
 Policy 5.14 - Water quality and wastewater infrastructure
 Policy 5.15 - Water use and supplies
 Policy 6.9 – Cycling
 Policy 6.10 - Walking
 Policy 6.13 - Parking
 Policy 7.1 – Lifetime Neighbourhoods
 Policy 7.2 – An Inclusive Environment
 Policy 7.3 – Designing Out Crime
 Policy 7.4 - Local character
 Policy 7.6 – Architecture
 Policy 7.8 – Heritage Assets and Archaeology
 Policy 7.19 – Biodiversity
 Policy 7.21 – Trees
 Policy 7.30 – London’s Waterspaces

8.2 The London Plan – Draft

A draft London Plan was published on 29 November 2017 for consultation purposes with a deadline for consultation of 2 March 2018. The draft plan is a material consideration in determining applications but is likely to carry little or no weight until there is a response to consultation submissions or until after its examination. Of particular relevance is:

Policy H15 provides clarity on what types of older persons housing will be considered use class C3 or C2 - Sheltered accommodation and extra care accommodation is considered as being in Use Class C3. Residential nursing care accommodation is considered as being in Use Class C2.

8.3 Core Strategy

CP6 - Meeting Particular Housing Needs
 CP7 - Health and Social Care Facilities and the Wider Determinants of Health
 CP9 - Supporting Community Cohesion
 CP20 - Sustainable Energy use and Energy Infrastructure
 CP21 - Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
 CP24 – The Road Network
 CP25 – Pedestrians and Cyclists
 CP28 – Managing Flood Risk Through Development
 CP29 – Flood Management Infrastructure
 CP30 - Maintaining and Improving the Quality of the Built and Open Environment
 CP36 - Biodiversity
 CP46 - Infrastructure Contributions

8.4 Development Management Document

DMD10 – Distancing
DMD15 – Specialist Housing Needs
DMD37 - Achieving High Quality and Design-Led Development
DMD38 - Design Process
DMD45 - Parking Standards and Layout
DMD47 – Access, New Roads and Servicing
DMD48 – Transport Assessments/Travel Plans
DMD49 - Sustainable Design and Construction Statements
DMD50 – Environmental Assessment Methods
DMD51 – Energy Efficiency Standards
DMD53 – Low and Zero Carbon Technology
DMD54 – Allowable Solutions
DMD55 – Use of roof space/vertical surfaces
DMD56 – Heating and Cooling
DMD58 – Water Efficiency
DMD59 – Flood Risk
DMD61 – Managing Surface Water
DMD62 – Flood Control and Mitigation Measures
DMD63 – Protection and Improvement of Watercourses and Flood Defences
DMD65 – Air Quality
DMD66 – Land Contamination
DMD68 – Noise
DMD75 – Waterways
DMD76 – Wildlife Corridors
DMD77 – Green Chains
DMD78 – Nature Conservation
DMD 79 – Ecological Enhancements
DMD80 – Trees on Development Sites
DMD81 - Landscaping

8.5 Other Relevant Policy

National Planning Policy Framework
National Planning Policy Guidance

9.0 **Analysis**

Key Issues to Consider

9.1 This report sets out an analysis of the issues that arise from the proposals in the light of adopted strategic and local planning policies. The main issues are considered as follows:

- Principle of development
- Design and appearance
- Traffic and transportation
- Impact on neighbouring residential amenity
- Landscaping and impact on trees

Principle of the Development

9.2 Policy 6 of the Council's Core Strategy sets out the Council's guiding principles for meeting particular housing needs, and states:

“The Council, with its partners, will develop flexible and accessible accommodation services that meet the local housing needs of vulnerable adults and that support the delivery of the Personalisation Agenda. Future

accommodation requirements will be set out in the emerging Health and Adult Social Care commissioning strategies. These strategies should be used as a tool for shaping and informing future development in the Borough. There is a particular need to control the development of traditional residential care home provision and align the development of supported accommodation services with local need.

The Council will work to ensure that there is appropriate provision of specialist accommodation across all tenures. Criteria for assessing applications for housing to meet particular needs, having regard to need and supply will be set out in the Development Management Document.”

- 9.3 Furthermore, Policy DMD15 of the Council's adopted Development Management Document refers to specialist housing needs, and states that:

“Development proposals for specialist forms of housing would only be permitted if all of the following criteria are met:

- a. The development would meet an identified borough need for that form of specialist housing having regard to evidence of need in the Council's Market Statement, Health and Adult Social Care Commissioning Strategies, or the needs assessment of a recognised public health care body;*
- b. The property is suitable for such a use and would not result in an over intensive use of the site*
- c. That residential amenity is preserved in accordance with the relevant criteria in policy DMD 8 'General Standards for New Residential Development';*
- d. It would not result in an excessive number or concentration of similar uses in a locality which would be detrimental to residential character or amenity;*
- e. The development is adaptable, well designed, of a high quality, accessible (internally and externally), meets the needs of the specific client groups it serves and their carers but is flexible in case these change. Developments must have regard 'General Standards for new development', other design considerations and local guidance. The Council will work with partners to ensure the facilities provide an adequate form of accommodation; and*
- f. The development is well located so that it is easily accessible to existing local community facilities, infrastructure and services, such as public transport, health services, retail centres, recreation and leisure opportunities.”*

- 9.4 The proposal to use the site as a residential care home for the elderly would fall within Use Class C2. This would be compatible with the existing use of the site (also C2 class). As such the principle of the proposed use is accepted.

- 9.5 Current experience of the Council in seeking to place service users into residential nursing care shows a significant shortage of available accommodation within the borough and neighbouring areas, and evidence shows that this shortage is likely to continue due to increasing demand. With an increase in the number of older people and improvements in overall life

expectancy, there is likely to be a growing need for care homes in the borough over the next 20 years.

- 9.6 There is no planning policy guidance in place that relates specifically to care home standards. However, there are bodies that regulate care home standards, most notably the Care Quality Commission (CQC). It is noted that many of these standards clearly relate to operational arrangements which are controlled outside of the planning process, e.g. allowing visitors at reasonable times, varied dietary offers, appropriate staffing levels and maintenance.
- 9.7 In compliance with the CQC standards, accessible toilets would be provided on each floor through en-suite facilities, as would communal space for residents. The CQC standards dictate that all new-build should incorporate single bedrooms with a minimum usable floor space of 12 sqm (excluding en-suite facilities): the proposed plans indicate individual room areas that consistently exceed the 12 sqm on each floor.
- 9.8 It is the case that a greater scale and intensity of use is sought on site, therefore this position must be appraised in relation to other material planning considerations including: justifying the need for a greater scale of use; scale, massing and layout; the schemes design; the impact on the character of the area; standard of accommodation; servicing; parking provision; impact on neighbouring residential amenity; sustainable drainage/flooding and sustainability credentials.

Scale, Design, Character and Impact on the Surroundings

- 9.9 Good design is central to all objectives of the London Plan in particular policies 7.1 – 7.6. Policies CP4 (Housing Quality) and CP 30 Maintaining & Improving the Quality of the Built Environment are also relevant as well as Policy 37 of the Development Management Document. In addition, the National Planning Policy Framework (NPPF) attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.
- 9.10 The surrounding character could be described as mix, and in terms of scale existing buildings range from 2 to 4 storeys high. The development on the opposite side of Oakthorpe Road comprises a three storey Convent fronting Oakthorpe Road and two storey terraces fronting Riverway.
- 9.11 The proposal would create a new frontage to the public highway on Oakthorpe Road. The frontage on Oakthorpe Road will be set in approximately 3.6m from the streetscape and it will be 3 storeys in height with a pitched roof, however it will present as 2 – 2.5 storeys due to the sloping topography of the site.



- 9.12 On the secondary frontage to New River, the building will be set in between 4.6m – 10.2m from the boundary with the river and it will present a 3 storey frontage. The two building elements are connected with a link building, which is articulated to provide communal open space areas on the southern elevation overlooking the river.



- 9.13 The development is proposed in a relatively modern form with a mixed material palette. There is relatively little information submitted about the proposed materials, but it is considered that these details could be dealt with via condition of consent. The front, side and rear elevations would be broken up with recessed elements, prominent gable features, balconies, varied window treatments and a pallet of materials which will assist to provide visual interest and relief when viewed from different perspectives.
- 9.14 Following discussions with the applicant to address the concerns raised by the Urban Design Officer in respect of the building articulation, amended plans were submitted. Two brick gables were introduced along the rear façade for the main river frontage which breaks up the massing without the loss of private open space area. They also relate well to the character of the front elevation of the building which also comprises gable features. The addition of gable features at the rear elevation also prevent a continuous line of glazed balconies which has oblique views along New River. The communal terraces at the rear of the first and second floor levels associated with the link building have been rationalised to have straighter lines, making them more useable. Architectural detailing in the form of recessed brickwork has been added to the western façade to provide relief on the western elevation. The window treatment at the front elevation facing Oakthorpe Road have been rationalised. Furthermore, the roofs above the balconies have been reduced to improve its visual impact to the rear whilst ensuring that the part of the balcony closest to the building can still be used.
- 9.15 In conclusion, the proposed development has been significantly improved through amendments to its visual appearance and massing. The proposal is considered to have an acceptable relationship to the surrounding street scene and New River having regard to planning policy.

Heritage Assets

- 9.16 DMD 44 states that applications for development which fail to conserve and enhance the special interest, significance or setting of a heritage asset will be refused. In addition, the design, materials and detailing of development affecting heritage assets or their setting should preserve the asset in a manner appropriate to its significance. The DMD carries on to state that development affecting listed and locally listed buildings and buildings identified as making a positive contribution to the character of the area, and buildings affecting their setting, should normally use appropriate traditional

historic materials and detailing. Mass-produced modern materials, such as uPVC and concrete roof tiles, will not normally be appropriate within the Conservation Area. Paragraph 193 of the NPPF states when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

9.17 No. 176 Green Lanes (Truro House) is a Grade II listed building which is located to the east of the site. In short, the proposed development is considered to have an acceptable relationship to the heritage significance of the listed building.

9.18 No. 176 Green Lanes (Truro House) comprises an early-mid nineteenth century two storey detached villa with a hipped roof form, located at the corner of Green Lanes and Oakthorpe Road to the west. The dwelling is Grade II listed and its heritage significance has been described below:

“Two storeys, four windows irregularly spaced. Ornamental stucco surrounds to replaced casement windows with external louvred shutters. Lower, probably later, North part. Four modern stone steps, with curved side walls supporting urns, to prostyle Corinthian porch with garlands in frieze. Garden (south) front has projecting semi-circular bay with attached Ionic columns. Late C19 east extensions in Tudor style. The front walls and gate piers to the north and west of No. 176 (Truro House) are also Grade II Listed and are characterised as early nineteenth century stock brick wall, the northern wall comprises original stone coping for most of its length whilst the western wall has modern sloped coping. The western wall also comprises square stuccoed piers with ball finials and a wrought iron gate.

9.19 The site is located to the east of the listed heritage item. The proposed scheme does represent an increase in height and massing which may cause some harm to the significance of the listed items.

9.20 Taking into consideration the level of impact on the heritage item, there is a large degree of separation (100m approx.) between the proposed building and the heritage asset, with the adjoining modern residential development to the west screening the majority of the site. In addition, the proposed development will be set at a lower level (1.5m approx.) toward the western section of the site due to its sloping topography which also reduces its presence to the listed assets. The use of brick materials throughout the development would help the proposal blend into Oakthorpe Road street scene. Furthermore, due regard must also be given to the considerable benefits the scheme would deliver in providing more aged care housing to the area along with regenerating the site. Overall whilst due regard has been given to the setting of the listed heritage items to the west, the adjoining residential buildings provides a clear divide between both sites and the provision of an aged care facility and overall public benefit the scheme generates is considered to outweigh any less than substantial harm arising.

9.21 In conclusion and having regard to the tests set out in the NPPF, the design, scale, character and impact on the listed items associated with this proposed development although higher and bulkier than the existing building is considered acceptable and the public benefits, would outweigh the less than substantial harm arising to the setting of the conservation area / heritage assets. It would integrate acceptably having regard to policies DMD6, 8, 37

and 44, CP30 and CP31 of the Core Strategy and London Plan policies 7.4, 7.6 and 7.8 of the London Plan.



Figure 1: Location of Truro House identified by the red circle

Neighbouring Amenity

9.22 From the perspective of neighbouring amenity, it is considered the proposal should be assessed with relation to the following properties.

- Property opposite on (St Anne's High School / Convent Building)
- Property Opposite at 1 Riverway)
- The rear of properties fronting Ecclesbourne Gardens
- Properties adjacent to the west on Oakthorpe Road (1, 3 and 5 Huguenot Drive)

9.23 It is considered that all other properties are sufficiently separated from the proposal to not be affected.

Properties opposite on 8 Oakthorpe Road and 1 Riverway

9.24 St Anne's High School and the vacant Convent Buildings are sited immediate north of the site on the opposite side of Oakthorpe Road. Given the separation to these buildings of approx. 50 metres, it is considered the proposals would have no adverse impact on either the function of the School or any future options surrounding the vacant convent buildings.

9.25 In respect of no. 1 Riverway, it is occupied by a two storey end of terrace dwelling located directly north of the site on the opposite of Oakthorpe Road. The dwelling has one side facing window at the first floor level and the daylight-sunlight report illustrates that an acceptable degree of daylight and sunlight will be maintained to habitable rooms and open space area. The proposed development is will be set in 3.6m from the street boundary, therefore it is considered that an acceptable degree of privacy and separation would be retained. As such the proposed development is considered to have an acceptable impact onto Number 1 Riverway.

The rear of properties fronting Ecclesbourne Gardens

9.26 The rear gardens associated with the two storey terraced houses and a large commercial warehouse unit fronting Green Lanes are situated to the south of the development site, on the opposite side of New River. They would be

separated by a distance of approximately 30m from the rear boundary of the subject site. It is considered that these separation distances are more than adequate to ensure that these properties are not adversely impacted upon. Also, as they are located to the south of the site, there will not be any adverse daylight/sunlight impact on the rear open space areas and habitable rooms. Accordingly, the proposal is considered to have an acceptable impact on these properties.

Properties adjacent to the west on Oakthorpe Road (1, 3 and 5 Huguenot Drive)

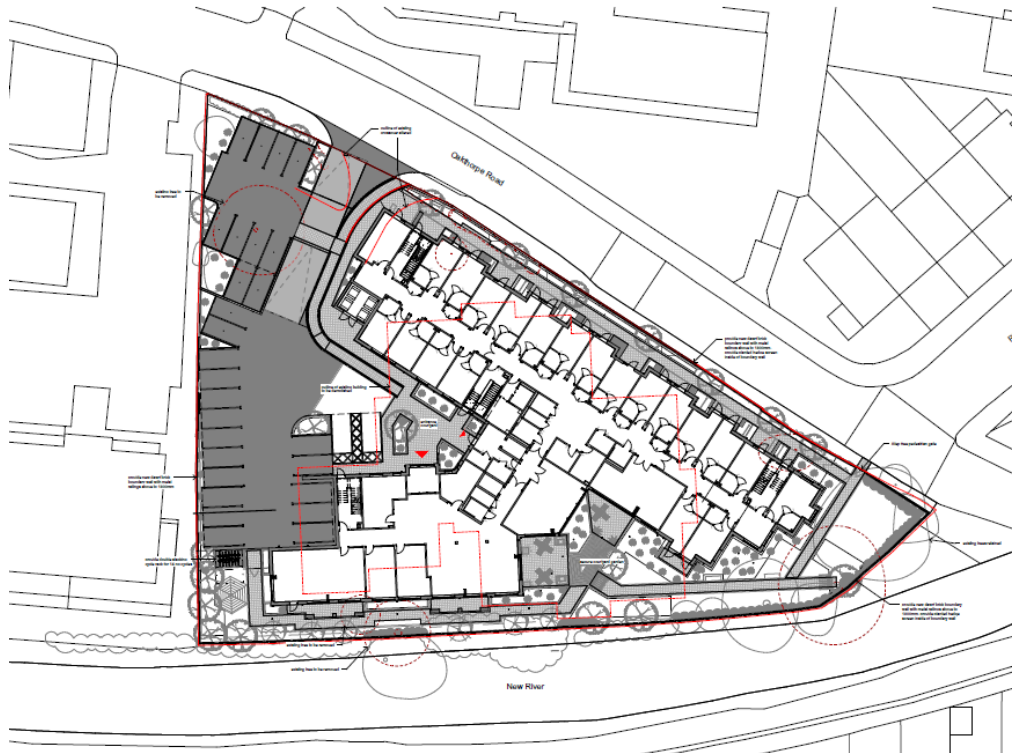
- 9.27 The properties to the west of the subject site comprises a three storey residential flat building at no. 5 Huguenot Drive and 2 x 2 storey dwellings. In respect of daylight access to windows, all windows pass the Vertical Sky Component and daylight distribution tests with the exception of a number of windows at 5 Huguenot Drive.
- 9.28 It is noted that the windows at 5 Huguenot Drive are obstructed by overhanging balconies and it is acknowledged that in such circumstances windows typically receive less daylight as the balcony cuts out light from the top part of the sky. Without the balconies on these neighbouring properties, the windows at 5 Huguenot Drive pass the daylight/sunlight tests. With the balconies, whilst it is accepted that even a modest obstruction opposite may result in a disproportionate relative impact on daylight/sunlight. The proposed development therefore satisfies the BRE daylight requirements, it must be noted that the windows are secondary windows to habitable rooms on the side elevation of no. 5 Huguenot Drive. It is therefore considered limited weight can be given to the effect on these windows which in any event, is assessed to be minimal.
- 9.29 The proposed internal layout has also been designed to avoid directly overlooking of these windows. There are no windows located on the western elevation of the proposed development as such, there will not be any adverse impact in respect of privacy impacts to the neighbouring property.
- 9.30 In conclusion all factors considered, the proposal has a negligible impact on the amenity to all adjoining occupiers.

Traffic and Transportation

Car parking/trip generation

- 9.31 The London Plan, Core Strategy and DMD encourage and advocate sustainable modes of travel and require that each development should be assessed on its respective merits and requirements, in terms of the level of parking spaces to be provided.
- 9.32 Policy DMD45 requires parking to be incorporated into schemes having regard to the parking standards of the London Plan; the scale and nature of the development; the public transport accessibility (PTAL) of the site; existing parking pressures in the locality; and accessibility to local amenities and the needs of the future occupants of the developments.
- 9.33 The London Plan and Council's Development Management Document does not give prescriptive parking standards for care homes; the guidance is to ensure any provision is justified for operational needs.

- 9.34 As mentioned, the existing site provides 19 car parking spaces. The proposal will provide a total of 33 car parking spaces (including two disabled bays) at the ground level: an increase of 14 car parking spaces. It was noted in the traffic and parking assessment submitted with the application that car parking for residents is not necessary but that they require parking for staff etc. in connection with their 24 / 7 care and support to undertake some, or all, of the activities of daily living. Accordingly, no objection has been raised to the level of car parking to support the function of the care facility.



- 9.35 It is noted from the submitted transport assessment that the care home would employ a total of 81 Full Time Equivalent (FTE) staff. Staff will be working on different shift times, therefore a maximum of 38 FTE staff would be working at any one time during a typical weekday (between 09:00 and 14:00). The traffic and parking report included census data from 2011 of methods of travel to work for workplaces in Enfield. The data indicated that 51% of people will drive to work therefore given the number of staff at any one time is 38, the number of staff likely to drive is calculated at 19 which could be accommodated within the car park. Cycle parking will also be conditioned to encourage staff to utilise sustainable modes of transport.
- 9.36 A concern was raised in respect of car parking for shift changeovers. The applicant provided additional information to respond to the concerns raised which indicated that the numbers of staff refer to the total numbers of staff on-site at these times, rather than the numbers of staff starting / finishing their shifts at these times. Therefore, and as an example, 33 staff do not finish at 2pm to be replaced by a different group of 31 staff. Staff will often work double-shifts meaning that changeover numbers are much smaller. In addition, catering, administration, maintenance and some care staff do not need to be on-site at the same time for a physical handover. In accordance with the additional information provided, there was no further objection raised by Council's traffic and transport officers.

- 9.37 In respect of trip generation, the transport assessment submitted with the application undertook a trip generation exercise has been undertaken using the 'Health – Care Home (Elderly Residential)' category in the TRICS database. This demonstrates that the net change in vehicle trips would be 5 two-way trips in the morning peak hour and 8 two-way trips in the evening peak hour during the weekday. The proposal will also generate 7 two-way vehicle trips on a Saturday. The proposed traffic generation is considered to be negligible and will not have any significant bearing on the operating capacity of the surrounding streets.
- 9.38 Accordingly, the amount of car parking provided, and trip generation would be acceptable and consequently would not result in excessive on street parking or on the operational capacity of the surrounding street network.

Vehicular Access, Servicing & Refuse Collection

- 9.39 The existing site access on Oakthorpe Road will be retained and a new vehicle ramp will be provided at the site entrance. There was no objection raised in respect of the proposed vehicle access into the site.
- 9.40 Details of the surfacing materials of the parking area, crossover, footpaths, landscaping designs, surface drainage, levels and visibility are not yet provided but can be secured via condition.
- 9.41 Policy 47 of the DMD indicates that, new access and servicing arrangements must be included in the detailed design of the scheme from the outset and must ensure that vehicles can reach the necessary loading, servicing, and parking areas. Layouts must achieve a safe, convenient and fully accessible environment for pedestrians and cyclists. New developments will only be permitted where adequate, safe and functional provision is made for refuse collection, emergency service vehicles and delivery/servicing vehicles.
- 9.42 According to the Manual for Streets (MfS), planning authorities should ensure that new developments make sufficient provision for waste management and in so doing, promote designs and layouts that secure the integration of waste management facilities without adverse impact on the street scene. The submitted plans have been assessed in accordance with the above guidance. Servicing and refuse collection would take place adjacent to the main entrance to the care home. Appropriate turning space is provided such that refuse vehicles can enter and exit in a forward gear and this has been demonstrated in the traffic and transport report submitted with the application. Overall, the refuse storage arrangements are considered acceptable. Details on refuse storage has not been provided but this can be secured via a condition.

Cycle Parking

- 9.43 Details of cycle parking has not been provided however it is considered that there is enough space on the site to provide compliant cycle parking. As such, it is considered acceptable to secured this via a condition of consent.

Pedestrian Access

- 9.44 Developments should have separate pedestrian footpaths from the streets to the buildings. The footpaths should be level, lit and measure at least 2m in width.

- 9.45 Consideration should be given to wheelchair and pedestrian movements around development site with respect to residents and visitors accessing the site's cycle parking, waste store(s), and nearby streets. This is to meet the requirements of London Plan Policy 6.10 (walking) and Enfield's policy DMD 47 which states that: "All developments should make provision for attractive, safe, clearly defined and convenient routes and accesses for pedestrians, including those with disabilities.
- 9.46 According to Policy 45 of the DMD; all new developments must be designed to be fully accessible for all mobility requirements and should maximise walkability through the provision of attractive and safe layouts with pedestrian permeability. The proposed development complies with these policies and is deemed acceptable.

Affordable Housing

- 9.47 It is not always feasible or desirable to achieve affordable housing targets as set out in adopted policy when considering specialist forms of housing. Given the proposal is a care home that would fall within a C2 use, the scheme is not subject to affordable housing.

Drainage and Flooding

- 9.48 Policy DMD59 states that new development must avoid and reduce the risk of flooding, and not increase the risk elsewhere. Policy DMD61 states that a Drainage Strategy will be required for all development to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 9.49 The SuDS officer raised no objection to the revised document which was submitted to address comments, however a detailed SuDS strategy will be conditioned to ensure compliance with adopted policy.
- 9.50 The application site is not located within a flood zone. The SuDS Officer and Thames Water was consulted due to the proximity of the development to the New River and no concerns were raised. The proposed development would not result in a significant increase in the opportunity of flooding in the area.

Trees, Landscaping and Biodiversity

- 9.51 Policy DMD80 seeks to protect trees of significant amenity or biodiversity value. Policy DMD81 sets out that developments must provide high quality landscaping that enhances the local environment and should add to the local character, benefit biodiversity, help mitigate the impacts of climate change and reduce water run-off.
- 9.52 It is noted that there are a number of trees on site, some of which are protected by a TPO. It is proposed to remove the group of trees running along the south of the site. Council's tree officer did not raise an objection to their removal given their condition and likely lifespan. In consultation with the applicant, the provision of landscaping and trees was also increased throughout the site which improves the sites streetscape appearance and screening buffer to the river at the south of the site. A detailed landscape plan will be secured via a condition of consent.

- ## Sustainable Design and Construction

- Page | 17

New Construction 2014 scheme includes multi residential accommodation/ supported living facilities which comprises residential care homes. A condition would be required to ensure that the proposal meets an excellent BREEAM rating

- 9.57 Policy DMD52 all major development should connect to or contribute towards existing or planned decentralised energy networks (DEN) supplied by low or zero carbon energy. Proposals for major development which produce heat/ and or energy should contribute to the supply of decentralised energy networks unless it can be demonstrated that this is not technically feasible or economically viable. It is noted that there is capability for the site to connect to a planned decentralised energy network. Discussions on are ongoing with the applicant on this matter and Members will be updated at the Planning Committee meeting.
- 9.58 Policy DMD55 requires all development to maximise the use of roof and vertical surfaces for Low and Zero Carbon Technology / Living Walls / Green Roofs. A condition requiring a feasibility study of compliance with Policy DMD55 would be required.

10. S106

- 10.1 Policies 8.1 and 8.2 of The London Plan (2016) seek to ensure that development proposals make adequate provision for both infrastructure and community facilities that directly relate to the development. Developers will be expected to meet the full cost of facilities required as a consequence of development and to contribute to resolving deficiencies where these would be made worse by development. In accordance with the S106 SPD and the comments received in respect of this application, the development should safeguard a route for future connection to a Decentralised Energy Network.

11. Community Infrastructure Levy

- 11.1 The proposal would fall within the scope of the Mayor's CIL. The floor space of the existing building measures 2000 square metres. The new care home would measure 4,500 square metres and therefore there would be a net increase in floor space of 2,500 square metres. The total CIL money payable would be: $(£60 \times 2,500\text{m}^2 \times 325)/274 = £177,919$.
- 11.2 The scheme would not be liable to the Enfield CIL as it does not to apply to the C2 use class.

12.0 Conclusion

- 12.1 In conclusion it is considered that this development proposal is acceptable. The proposal will support much needed residential nursing care which is a growing need in the borough. It will also comply with the standards prescribed by the Care Quality Commission (CQC)
- 12.2 It is considered that the scale, bulk and appearance is acceptable and in respect of the nearby heritage asset. In this regard, the scheme is also considered to meet the tests set out in the NPPF for development where there is identified less than substantial harm to heritage asset. It is also considered residential amenity would not be unduly prejudiced.

- 12.3 It is considered that on balance of all considerations the proposal development would not create an unacceptable impact to highway function and safety that warrants refusal.
- 12.4 It is therefore recommended that planning permission be approved.



Row	Date	Description
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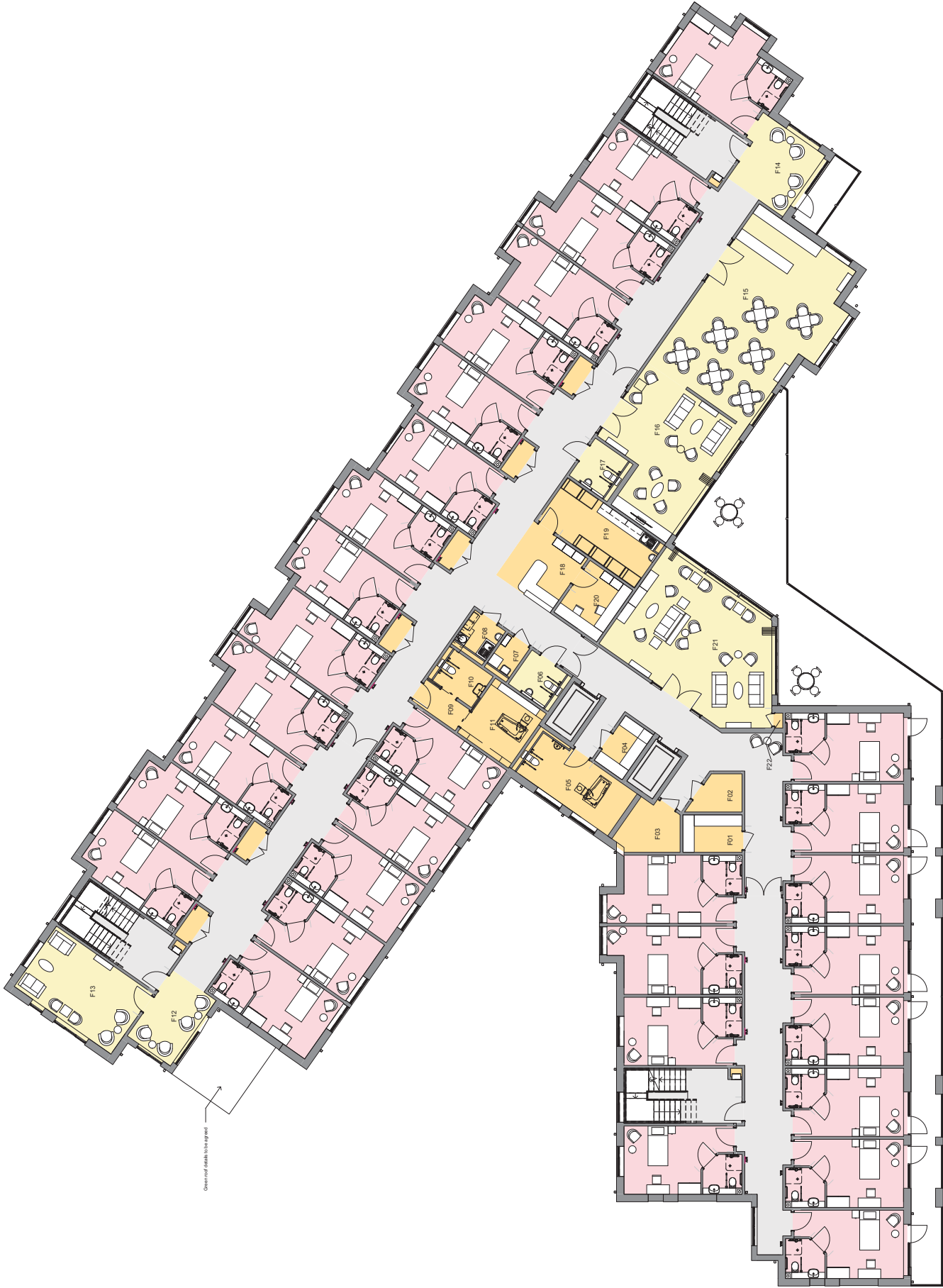
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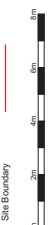
First Floor Key

- 032 DR2
- 033 DR3
- 034 DR4
- F01 Linen Store
- F02 Hoist Store
- F04 Linen Store
- F05 Assisted Bath
- F06 Asst WC
- F07 Cleaner Store
- F08 Slinice Room
- F09 Lobby
- F10 Asst WC
- F11 Assisted Bath
- F12 Communal Area
- F13 Quiet Room
- F14 Communal Area
- F15 Dining
- F16 Lounge
- F17 Asst WC
- F18 Nurse Base
- F19 Drug Store
- F20 Office
- F21 Lounge
- F22 Store

- ANGLARY
- CARE SUITE
- CIRCULATION
- COMMUNAL
- Calculating...



Key



Rev	Date	Description	Drawn	Checked	JS
1	15/03/19	Issued for client requirements	AP	SH	
2	15/03/19	Issued for client requirements	AP	SH	
3	15/03/19	Issued for client requirements	AP	SH	
4	15/03/19	Issued for client requirements	AP	SH	
5	15/03/19	Issued for client requirements	AP	SH	



Second Floor Key

- S01 Linen Store
- S02 Hoist Store
- S03 Wheelchair Store
- S04 Linen Store
- S05 Assisted Bath
- S06 Asst WC
- S07 Cleaner Store
- S08 Sluice Room
- S09 Lobby
- S10 Asst WC
- S11 Assisted Bath
- S12 Communal Area
- S13 Quiet Room
- S14 Communal Area
- S15 Dining
- S16 Lounge
- S17 Asst WC
- S18 Nurse Base
- S19 Drug Store
- S20 Office
- S21 Lounge
- S22 Store

- ANGLIARY
- CARE SUITE
- CIRCULATION
- COMMUNAL
- Calculating...

Key



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Rev	Date	Description
A	18/02/17	First issue
B	18/07/17	Revised 1
C	18/07/17	Revised 2
D	18/07/17	Revised 3
E	21/07/18	Planning update

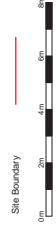


Basement Floor Key

- B03 Store
- B04 Store
- B05 Kitchen
- B06 Kitchen
- B07 Kitchen Staff
- B08 Kitchen
- B09 Cinema Office
- B10 Cinema
- B11 Cinema
- B12 Cinema Lobby
- B13 Store

- ANCILLARY
- CIRCULATION
- COMMUNAL

Key



Rev	Date	Description
1	09/10/18	Issued for client's requirements
2	11/01/19	Issued for client's requirements
3	11/01/19	Issued for client's requirements
4	11/01/19	Issued for client's requirements

Designed with reference to the survey, information and images listed
the project must be read in conjunction with the Designers' Hazard and
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Ground Floor Key

- G01 Lobby
- G02 Foyer
- G03 Managers Office
- G04 Visitors WC
- G05 Wheelchair Store
- G06 Linen Store
- G07 Service Lobby
- G08 Comms Room
- G09 Asst WC
- G10 Cleaner Store
- G11 Sluice Room
- G12 Lobby
- G13 Asst WC
- G14 Assisted Bath
- G15 Bin Store
- G16 Communal Area
- G17 Quiet Room
- G18 Communal Area
- G19 Dining
- G20 Asst WC
- G21 Hot Store
- G22 Nurse Base
- G23 Drugs St
- G24 Office
- G25 Garden Room/ Lounge
- G26 Cafe
- G27 Private Dining
- G28 Salon
- G29 Activity Lounge/Pub
- G30 Front Office

- ANCILLARY
- CARE SUITE
- CIRCULATION
- COMMUNAL
- Calculating...

Key

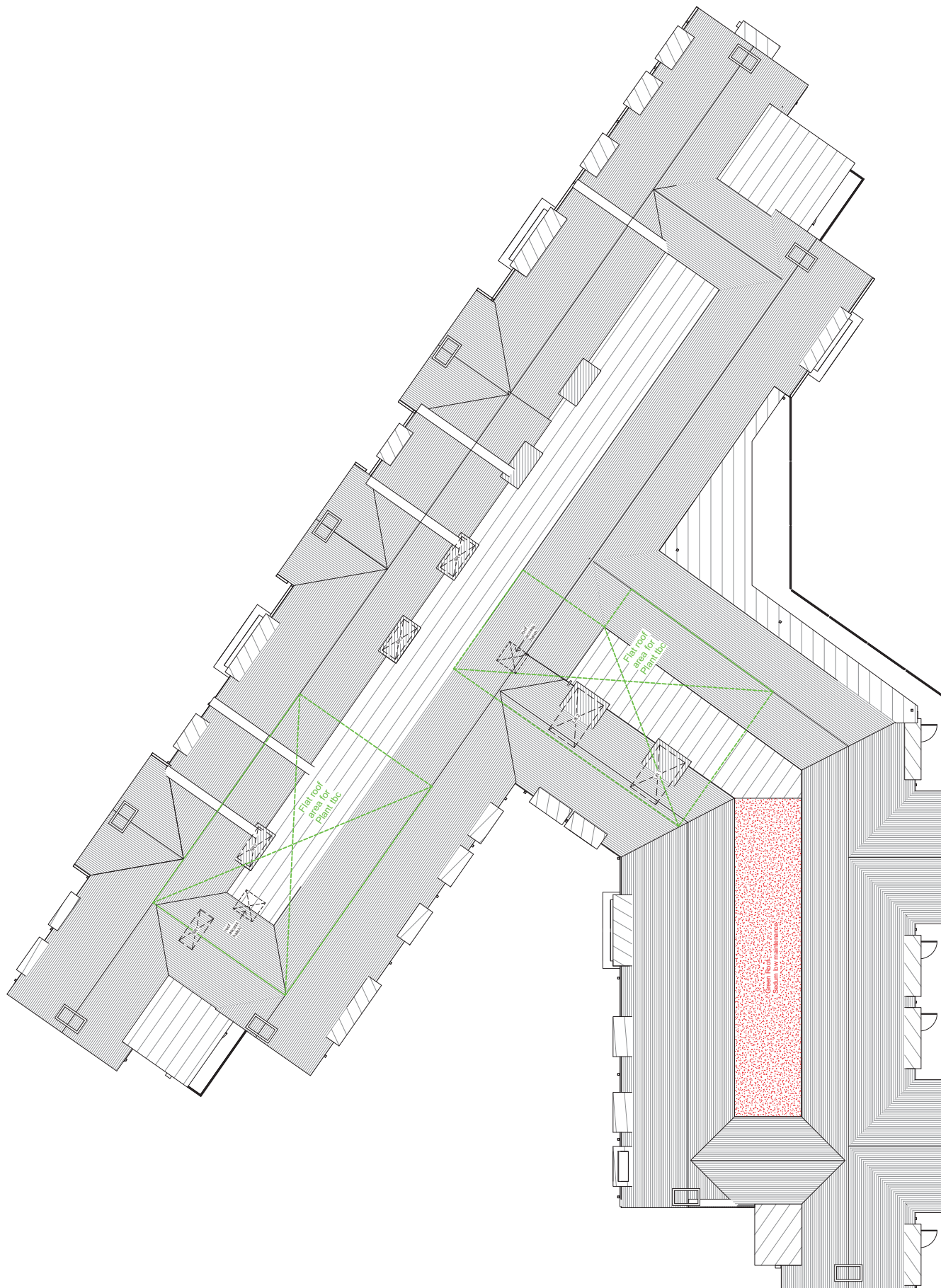
Site Boundary

0m 20m 40m 60m 80m



* Indicates 16No RWP connected to SUD's planters





Rev	Date	Description	DDV	AR	SO	AR	DDM	Ckd
15	15/03/19	Updated to suit the comments received from the LPA						
14	25/01/19	Pending updates						
13	15/01/19	Amended to suit Pluribus comments						
12	28/11/18	Updated to suit Client requirements.						
11	20/11/18	Issued for Tender						

Oakthorpe Road, Enfield
Roof Key Plan

AA7385-4005 REV T5

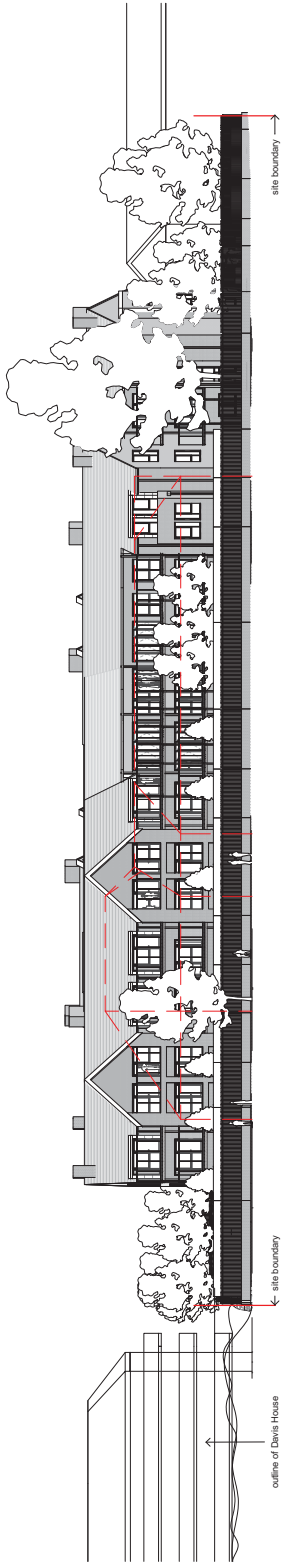
TENDER

Drawn DCV Checked AR Date Nov. 2018 Scale @ A1 1 : 100

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Surrey
020 8339 3600



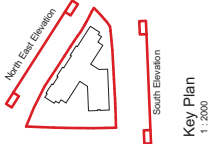
North East Context Elevation
1:200



South Context Elevation
1:200

Key

Existing Building Line



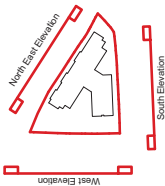
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Rev	Date	Description
B	19/12/18	Planning Refusals
C	21/01/19	Planning Refusals
D	21/01/19	Planning Refusals
E	21/01/19	Planning Refusals
F	21/01/19	Planning Refusals

Rev	Date	Description
B	19/12/18	Planning Refusals
C	21/01/19	Planning Refusals
D	21/01/19	Planning Refusals
E	21/01/19	Planning Refusals
F	21/01/19	Planning Refusals

Oakthorpe Road, Enfield
Context Elevations

A47385-2013
REV F
PLANNING



North East Elevation
1:200

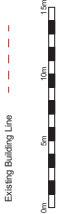


South Elevation
1:200



West Elevation
1:200

Key



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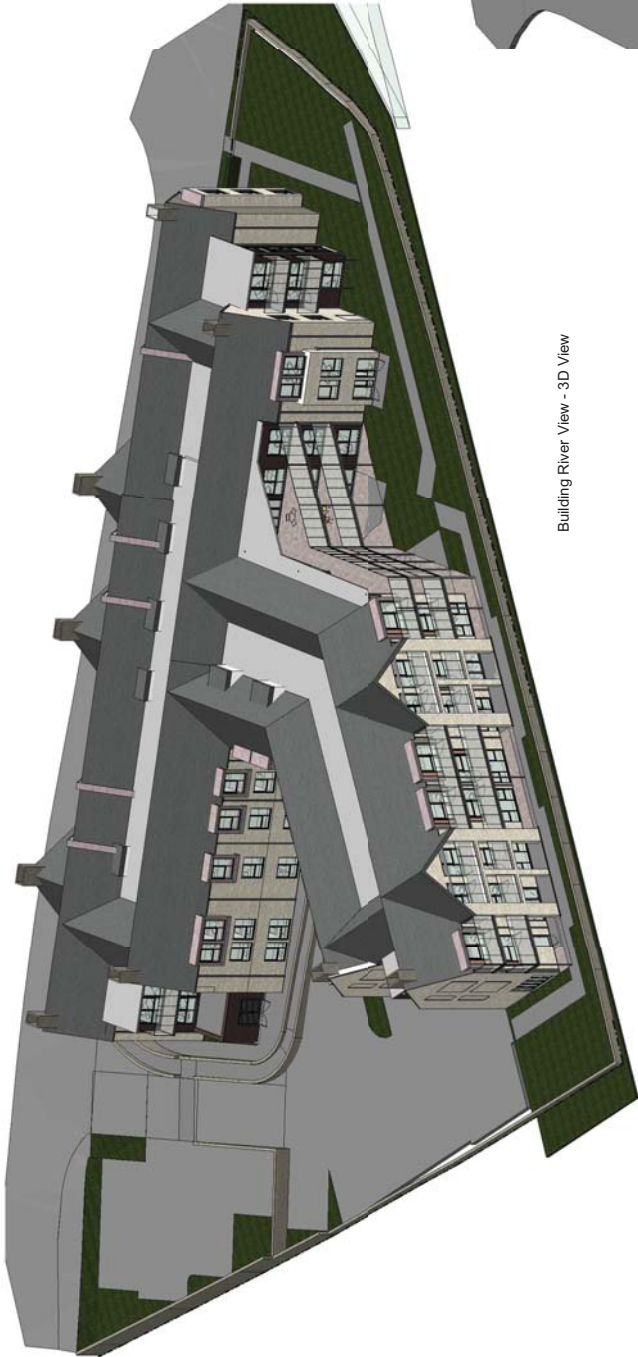
Designed with reference to the survey, information and reports listed below. The Designer does not warrant the accuracy or completeness of the information provided by the client. The Designer is not responsible for any errors or omissions in the information provided by the client.

Rev	Date	Description	Drawn	Checked	Date	Scale
C	19/10/18	Planning features	SA	SH		
E	21/10/18	Planning updates	SD	AR		
G	25/04/19	Updated to add in revised landscape on site	SD	AR		

Oakthorpe Road, Enfield
Elevations - Sheet 1

A47385-2009
REV G
PLANNING

The contractor is responsible for checking dimensions, tolerances and with the works. Where an item is covered by drawings to different scales the Do not scale drawings. Figure dimensions to be worked to in all cases. CDM REGULATIONS 2015. All current drawings and specifications for the Environmental Assessment Record. All intellectual property rights reserved.



Building River View - 3D View



Building Entrance View - 3D View



Building Road View - 3D View

T6	2024-01-19	Updated to include the new building design.	SD	AK
T5	2023-11-19	Updated to include the new building design.	SD	AK
T4	2023-11-19	Updated to include the new building design.	SD	AK
T3	2023-11-19	Updated to include the new building design.	SD	AK
T2	2023-11-19	Updated to include the new building design.	SD	AK
T1	2023-11-19	Updated to include the new building design.	SD	AK
Rev	Date	Description	Drawn	Check

Oakthorpe Road, Enfield
3D Views

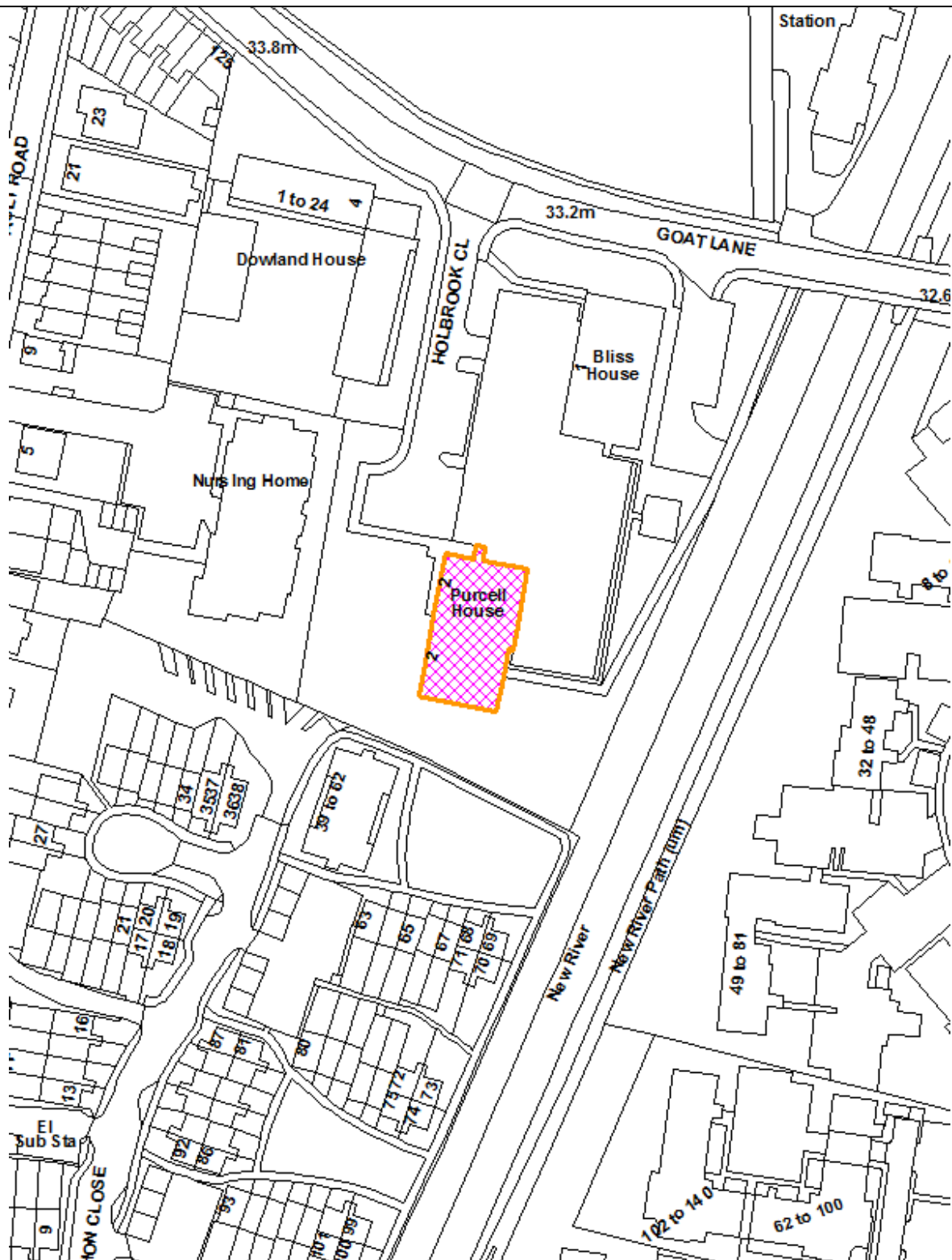
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Checked: AR
Date: Nov. 2018
Scale: @ A1
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Surrey
020 8339 3600

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LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date :** 25th June 2019**Report of**
Head of Planning**Contact Officer:**
Andy Higham
Gideon Whittingham
Tel No: 02083798169**Ward:**
Chase**Ref:** 19/01205/RE4**Category:** LBE - Dev by LA**LOCATION:** Purcell House, 2 Holbrook Close, Enfield, EN1 4UQ**PROPOSAL:** Replacement of existing cladding to north and south elevations.**Applicant Name & Address:**Mr D Edney
Silver Street
Enfield
EN1 3XA
United Kingdom**Agent Name & Address:**Mr D Barnes
C/O 8 Coningsby Bank
St.Albans
AL1 2NX
United Kingdom**RECOMMENDATION:****That planning permission be GRANTED subject to conditions.**

Ref: 19/01205/RE4 LOCATION: Purcell House, 2 Holbrook Close, Enfield, EN1 4UQ



1. Note for Members

- 1.1 Although a planning application for this type of development could normally be determined under delegated authority, the application has been brought to the Planning Committee because the applicant and landowner is Enfield Council.

2.0 Recommendation / Conditions

- 2.1 That in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions:

1. TIME LIMIT

2. DEVELOPMENT IN ACCORDANCE WITH PLANS 2. The development hereby permitted shall be maintained in accordance with the following approved plans and documents:

EC/PH/001 (Location Plan); EC/PH/002 (Existing Elevations); EC/PH/003 (Proposed Elevations)

Reason: For the avoidance of doubt and in the interests of proper planning.

3. MATERIALS TO MATCH THOSE SPECIFIED

3. Executive Summary

- 3.1 Following investigations by the Council in 2018, it identified that the cladding system on Bliss House, Purcell House and Walbrook House was not appropriate for buildings of their height and type in respect of fire safety.

- 3.2 The Council immediately committed to removing the existing cladding system and install a new long-term replacement cladding system for the exterior of the blocks. This application is submitted as a result of this decision.

- 3.3 The replacement cladding system shall match the appearance to those used in the construction of the exterior of the existing blocks.

- 3.4 The reasons for recommending approval of this application are:

- It is considered that the principle of the replacement cladding is appropriate given its detailed design;
- The replacement cladding would not have a detrimental impact on the character and appearance of the building, the wider street scene and the setting of the adjacent Forty Hill Conservation Area;

- The replacement cladding would not harm the amenity of occupying and neighbouring residents;
- The proposal is in keeping with the sustainability objectives to ensure the longevity of the building and minimise the energy consumption of the building;
- The development would be appropriate and in accordance with relevant National and Regional Policy, Core Strategy and DMD policies.

4. Site & Surroundings

- 4.1 The application site relates to a purpose built housing estate located on the east side of Holbrook Close, close to the southern junction with Goat Lane.
- 4.2 The housing estate incorporates two towers, Purcell House and Bliss House. Both towers are 12 storeys, that are identical in plan form.
- 4.3 The ground floor forms a concrete base with struts around the periphery resulting in high visual permeability at this level. The upper floors are solid, with the longer east and west elevations forming the primary frontages serving habitable rooms onto concrete faced balconies that do not comprise a cladding system.
- 4.4 The north and south elevations form the shorter flank ends, comprising a cladding system (which has since been removed) punctured with fenestration.
- 4.5 The site itself is not located within a Conservation Area, however the Forty Hill Conservation Area is located to the north, beyond Goat Lane.
- 4.6 The site is located to the west of New River, identified as a Wildlife Corridor.

5. Proposal

- 5.1 The north and south elevations of the Purcell House would be clad in silicone render panels with non-combustible mineral wool insulation in the cavity between the cladding and the existing concrete walls.
- 5.2 The proposed cladding would be of a similar colour to that previously, namely pink (NCS Colour S1010-Y70R) and crème (NCS Colour S0507-Y).
- 5.3 The since removed cladding system on the north and south elevations included mineral wool insulation, however this was applied off a roll and laid in the cavity between the cladding and the existing concrete wall. The replacement cladding system is a fixed mineral wool and non combustible panel system.
- 5.4 The proposed cladding would sit 150mm from the existing concrete walls to satisfy thermal performance
- 5.5 All existing fenestration would remain unchanged, however newly incorporated cills and external extractor fan grilles shall be installed.

- 5.6 The proposed cladding would not require relocated/replacement flues or smoke vents (AOVs) as such fixtures are not located on the north and south elevations of the tower
- 5.7 The associated changes proposed are still subject to ongoing consultation discussions with occupiers. If an alteration is required, this is something that could be dealt with via a minor or non-material amendment to the application.

6. Consultation

6.1 Statutory and Non-Statutory Consultees

London Fire Brigade: No comment has been provided at the time of writing.

6.2 Public:

- 6.3 Consultation letters were sent to 209 occupiers within Purcell House and adjoining and nearby occupiers.
- 6.4 To date no objections have been received from residents from either planning consultation.

7. Relevant Planning History

- 7.1 No relevant planning history

8. Relevant Planning Policies

London Plan (2016)

- Policy 3.5: Quality and design of housing developments
- Policy 3.14: Existing Housing Stock
- Policy 5.2: Minimising carbon dioxide emissions
- Policy 5.3: Sustainable design and construction
- Policy 6.3: Assessing effects of development on transport capacity
- Policy 7.4: Local Character
- Policy 7.6: Architecture

Core Strategy (2010)

- Core Policy 4: Housing quality
- Core Policy 5: Housing types
- Core Policy 20: Sustainable energy use and energy infrastructure
- Core Policy 21: Delivering sustainable water supply, drainage and sewerage infrastructure
- Core Policy 22: Delivering sustainable waste management
- Core Policy 25: Pedestrians and cyclists
- Core Policy 30: Maintaining and improving the quality of the built and open environment
- Core Policy 31 - Built and landscape heritage
- Core Policy 32: Pollution

- Core Policy 46: Infrastructure contributions

Development Management Document (2014)

- DMD 8: General Standards for New Residential Development
- DMD 37: Achieving High Quality and Design-Led Development
- DMD48: Transport Assessments
- DMD 51: Energy Efficiency Standards
- DMD 68: Noise

Other Policy

- National Planning Policy Framework 2018 (NPPF)
- National Planning Practice Guidance 2016 (NPPG)
- Draft London Plan (2018)
- Forty Hill Conservation Area Character Appraisal (2015)
- Forty Hill Conservation Area Management Proposals (2015)

9. Planning Analysis

- 9.1 The principal considerations material to the determination of this application are considered in the following sections of this report:

9	Consultation and procedure <ul style="list-style-type: none"> - Background - Procedure - Consultation
10	Principle of development <ul style="list-style-type: none"> - Principle - Program of work
11	Design <ul style="list-style-type: none"> - Policy review - Materials and detailed design - Effect on setting of Conservation Area - Conclusion
12	Impact on occupying and neighbouring amenity <ul style="list-style-type: none"> - Policy review - Occupiers of Purcell House - Neighbour Amenity - Conclusion
13	Sustainable design and construction <ul style="list-style-type: none"> - Policy review - Thermal performance Living roofs/walls - Conclusion
14	Transport

	<ul style="list-style-type: none"> - Policy review - Implementation - Construction management
15	Community Infrastructure Levy (CIL)
16	Conclusion

Background

- 9.1 Following the Grenfell fire in June 2017 the Ministry of Housing, Communities and Local Government (MHCLG), formerly the Department for Communities and Local Government (DCLG), and the Building Research Establishment (BRE) have introduced a programme of testing of various cladding systems.
- 9.3 The Council commissioned Fire Engineers (M10 Fire Engineering) who undertook investigations in 2018 and identified that the cladding system on Bliss, Purcell and Walbrook House did not sufficiently resist the spread of flames meaning this type of cladding system is not appropriate for these buildings.
- 9.4 The Council, along with the contractor ENGIE, immediately committed to removing the cladding system from all three blocks as soon as the Fire Engineers indicated that the cladding system had failed their tests. This has now been completed system across the three blocks, with the meanwhile safety of the residents and buildings secured by the Council's Housing Fire Safety Team.
- 9.5 In order to ensure that the same levels of thermal insulation and water resistance are maintained as provided by the prior cladding system, the Council needs to procure and install a new long-term replacement cladding system for the exterior of the blocks.
- 9.6 For information, inspection of the installed replacement cladding system would be undertaken by the Council's appointed Clerk of Works, the Fire Safety Team and Fire Engineers (M10 Fire Engineering) and the Building Control team, however these are matters for Building Control rather than planning control.

Procedure

- 9.7 Planning Committee is in effect required to consider this application on the same footing as any other application, notwithstanding the fact that it concerns Council owned property. Hence in determining this application, as with any other application, Planning Committee must base its decision solely on planning considerations. It cannot take into account or base any reason for approval or refusal on a consideration not relevant to planning. In making its decision, the Committee is required to have regard to the provisions of its Development Plan (Enfield's 2010 Core Strategy and 2014 Development Management Document) and the London Plan 2016 and associated policies and guidance. The

determination must be made in accordance with the Plan unless material considerations indicate otherwise.

- 9.8 Therefore notwithstanding the exceptional circumstances surrounding this issue and this application, the assessment by Planning Committee's can only consider planning issues. The building regulations prescribe very detailed design and construction standards for buildings to ensure health and safety (including fire safety) of people in or about those buildings. Therefore, precise details of how a development is actually built, the quality of work, whether it is safe, or the extent to which it resists spread of fire, are all primarily matters for Building control rather than planning control. Nevertheless, there is some overlap between the two regimes. One illustration of this overlap is that Policy D11(Fire Safety) of the draft New London Plan states development must achieve the highest fire safety standards and incorporate appropriate features to reduce risk to life in the event of fire.
- 9.9 However it should be noted it would be advisable to accord draft Policy D11 only limited weight at this stage taking account of the fact that it has yet to be adopted. It is also relevant that the draft Policy covers matters in respect of which Building Regulations already impose such extensive control (fire safety).

Consultation

- 9.10 This planning application as with any other application has been subject to its own consultation as set out in section 5 of this report. However, in addition to that statutory consultation, the Council as applicant has made it clear that the content of the application has been shaped by resident engagement to ensure residents' views are taken into account. The Council in its corporate capacity has also undertaken extensive consultation with residents and continues to do so. Whilst the Council as planning authority has a legal duty to determine any application in the form it is submitted, the content of the application has been shaped by resident consultation which is ongoing. Planning officers have also worked with officers representing the Council as landlord to ensure the application seeks to address all key issues and concerns.

Principle of development

- 9.11 The principle of replacing the existing cladding system with a cladding of a similar material appearance is considered acceptable. The cladding will improve the energy performance of the building, whilst maintaining the building and its appearance.
- 9.12 Policy D11 (Fire Safety) of the draft New London Plan notes development proposals must achieve the highest standards of fire safety and ensure appropriate features are incorporated into the design of development to reduce the risk to life in the event of a fire and construction in an appropriate way to minimise the rise of fire spread. Although the new London Plan has not formally been adopted at this time and holds limited weight at this time, consideration has been given to this issue. The primary regulatory control in this matter is through Building Regulations, but following internal consultation, the proposed cladding's

impact on the fire safety of the building is nonetheless considered acceptable and controllable under the Building Regulations in accordance with draft policy D11.

Design

Materials and detailed design

- 9.13 The replacement cladding would be of a material that is similar in appearance to that previous, both in terms of colour, finish, form and panel arrangement and would therefore respect its intended function and be inappropriate to its context, in accordance with the objectives of DMD8 and DMD37.
- 9.14 The associated alterations, including the introduction of cills to windows is both a functional and suitably detailed addition that would be sympathetic to the replacement cladding and the character and appearance of the host building.
- 9.15 No further changes would be required to the existing fenestration or their openings.

Effect on setting of Conservation Area

- 9.16 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") is relevant. Section 72(1) requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area when considering applications relating to land or buildings within that Area.
- 9.17 The site itself is not located within a Conservation Area, however the Forty Hill Conservation Area is located to the north, beyond Goat Lane, from which views of Purcell House are experienced.
- 9.18 Given the proposed colour, finish, form and panel arrangement would not appear significantly different to the previous cladding, it is considered that no harm would be caused to the character and appearance of the Forty Hill Conservation Area.

Conclusion

- 9.19 It is considered that the principle of the replacement cladding is appropriate given its detailed design.
- 9.20 The replacement cladding would not have a detrimental impact on the character and appearance of the building, the wider street scene and the setting of the adjacent Forty Hill Conservation Area.

Impact on occupying and neighbouring amenity

Occupiers of Purcell House

- 9.21 The proposed cladding, by its very nature and replacing the same form and position of existing panels, would not result in harm to the existing residents amenity levels, in respect of outlook, privacy and access to daylight/sunlight.

Neighbour Amenity

- 9.22 Given the nature of the proposed development replacing the same form and position of existing panels, recladding Purcell House would not result in harm to the residents amenity levels who neighbour the site, in respect of outlook, privacy and access to daylight/sunlight.

Conclusion

- 9.23 The replacement cladding would not harm the amenity of occupying and neighbouring residents.

Sustainable design and construction

Policy review

- 9.24 London Plan policies 5.2 and 5.3 and policies DMD 51: Energy Efficiency Standards seek to secure energy efficiencies and reduce the emissions of CO2.

Thermal performance

- 9.25 In accordance with the objectives of the London Plan and DMD 51, the development would improve the thermal performance of the building to minimise energy consumption.

Conclusion

- 9.26 The proposal is in keeping with the sustainability objectives to ensure the longevity of the building and minimise the energy consumption of the building.

Transport

Policy review

- 9.27 London Plan policies 5.2 and 5.3 and policies DMD 48: Transport Assessments seek to ensure for safe and legal delivery, collection, construction and servicing.

- 9.28 In relation to the transport impact of the proposed development, the only consideration is the construction impact.

- 9.29 The site is currently under scaffolding due to the existing cladding having already been removed. Associated portacabins are located within the grounds of the estate, as are vehicles associated with the works. With an anticipated programme time of 22 weeks and the removal of existing cladding having already been complete, the nature and limited scale of the proposal to come would not generate significant movement of goods or materials. Officers are therefore

satisfied that appropriate measures could be taken to minimise the impact on the surrounding highway network and neighbour amenity, such as signing up to the Considerate Constructors Scheme. The applicant will be required to apply for parking bay suspensions to allow for construction vehicles and skips to occupy existing parking bays. An informative is recommended to advise the applicant of this requirement.

Community Infrastructure Levy (CIL)

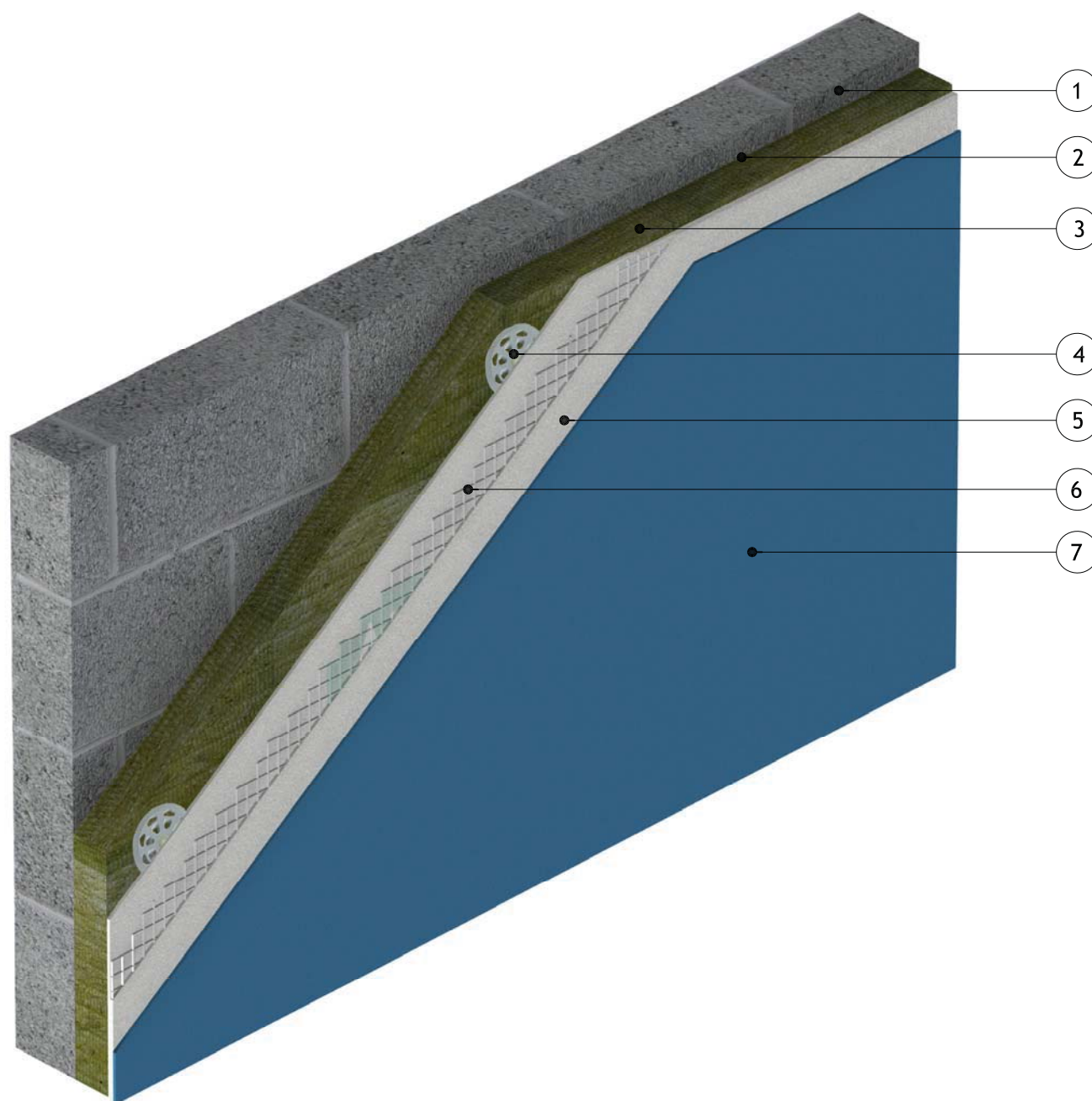
- 9.30 Given the nature of the proposals the development would not be liable for either the Mayoral or Enfield CIL, as there would be no increase in floorspace nor creation of any additional residential units.

10 Conclusion

- 10.1 It is considered that the principle of the replacement cladding is appropriate given its detailed design. The replacement cladding would not have a detrimental impact on the character and appearance of the building, the wider street scene and the setting of the adjacent Forty Hill Conservation Area.
- 10.2 The replacement cladding would not harm the amenity of occupying and neighbouring residents.
- 10.3 The proposal is in keeping with the sustainability objectives to ensure the longevity of the building and minimise the energy consumption of the building.
- 10.4 The development would be appropriate and in accordance with relevant National and Regional Policy, Core Strategy and Development policies and for the reasons noted above.

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Isometric Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-001

Scale:

NTS

Revision:

Date:

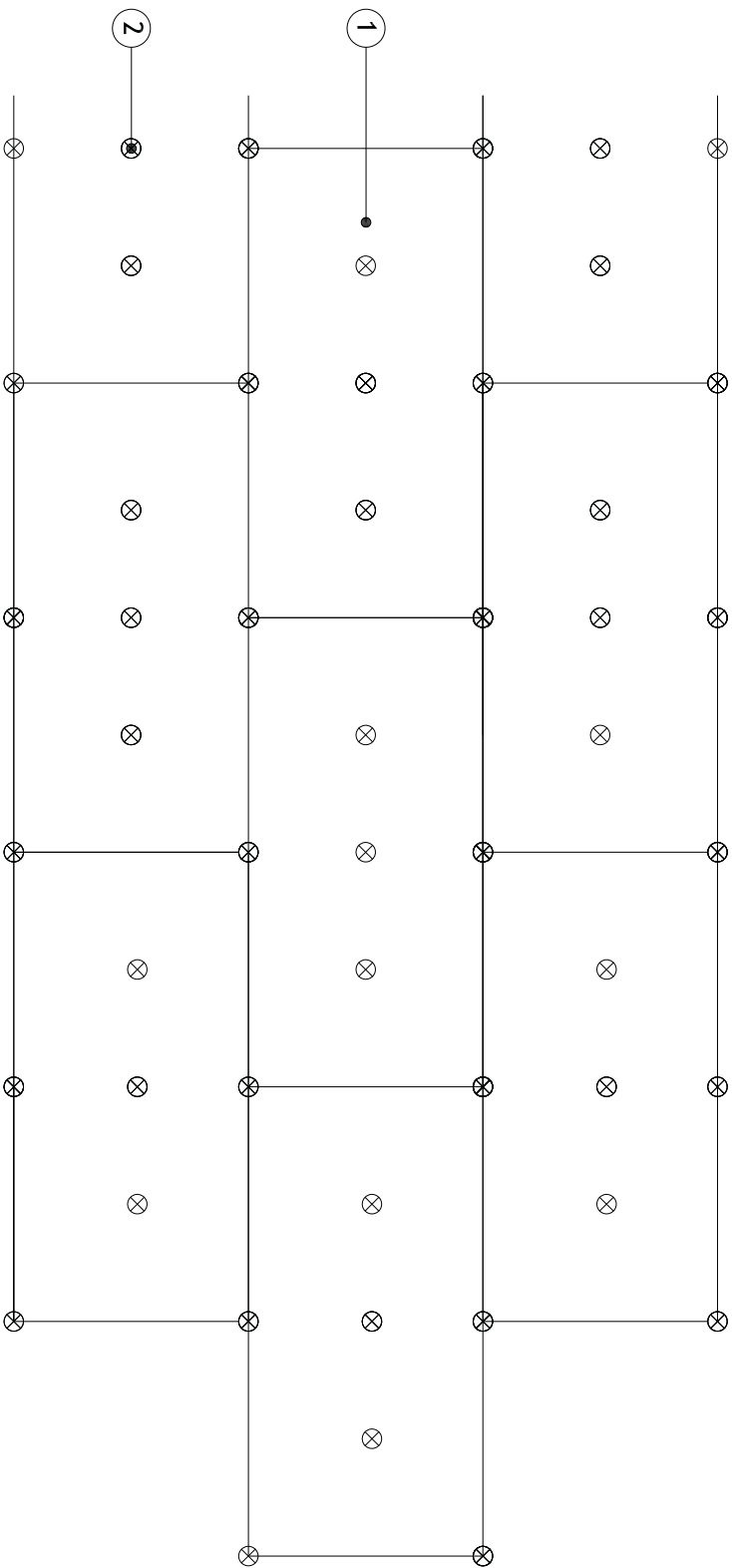
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Items:-

- 1 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 2 - Alumasc Approved Mechanical fixing (as per specification)



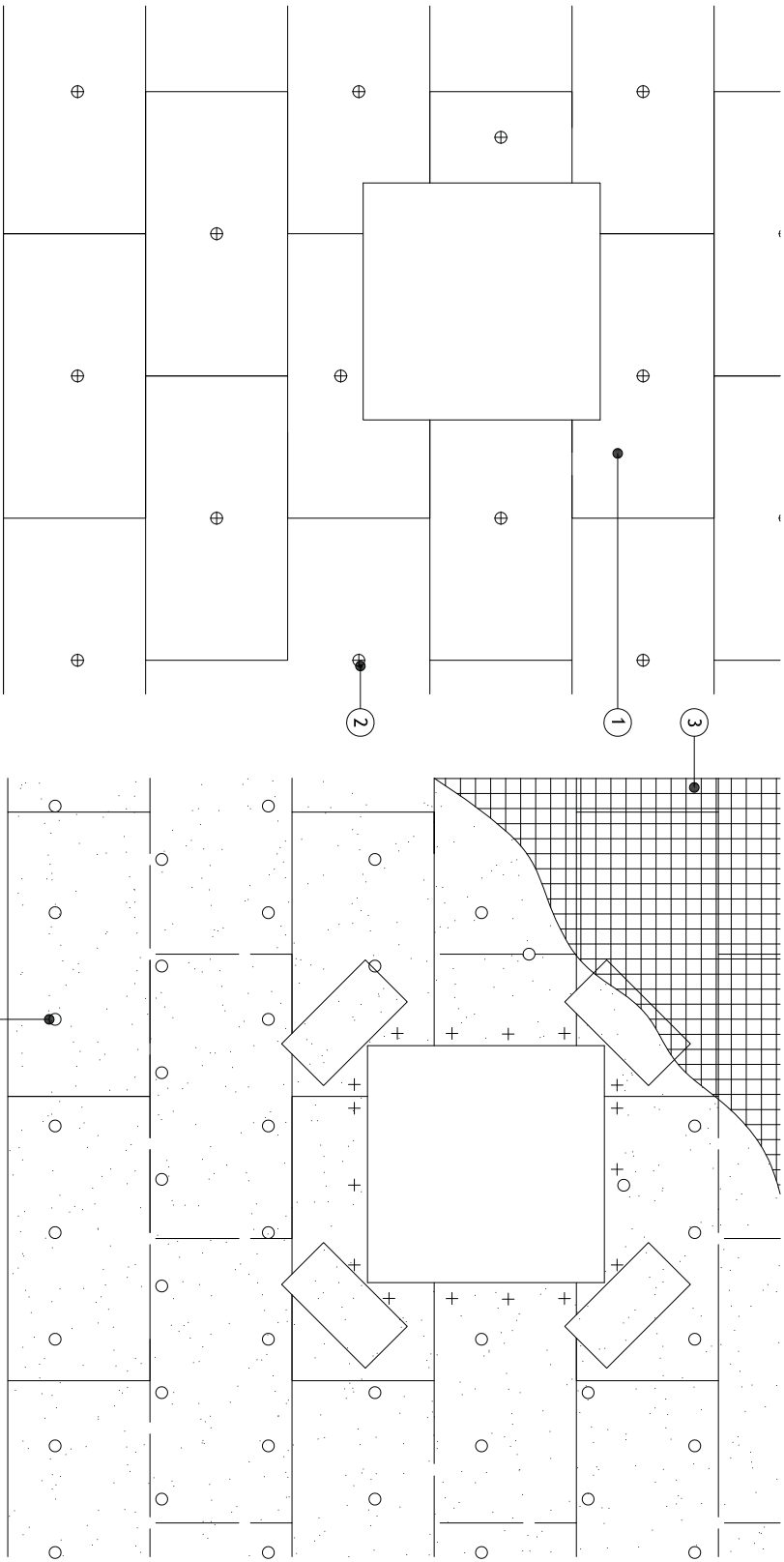
Notes:

- 1 - Refer to Alumasc E.B.P. Ltd for Technical Assistance regarding specification, fixing type and project specific fixing pattern.
- 2 - Main area elevations to follow 6.94 mechanical fixings per m2
- 3 - Min. 200mm bond overlap.
- 4 - Fixings at 300mm centres at external corners and openings.

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<p>Revision:</p>		<p>Date: 01.08.2017</p>		<p>© Copyright reserved</p>					


Items:-

- 1 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 2 - Alumasc Approved Mechanical fixing (as per specification)
- 3 - Alumasc Scrim Reinforcement bedded into Alumasc Base Coat



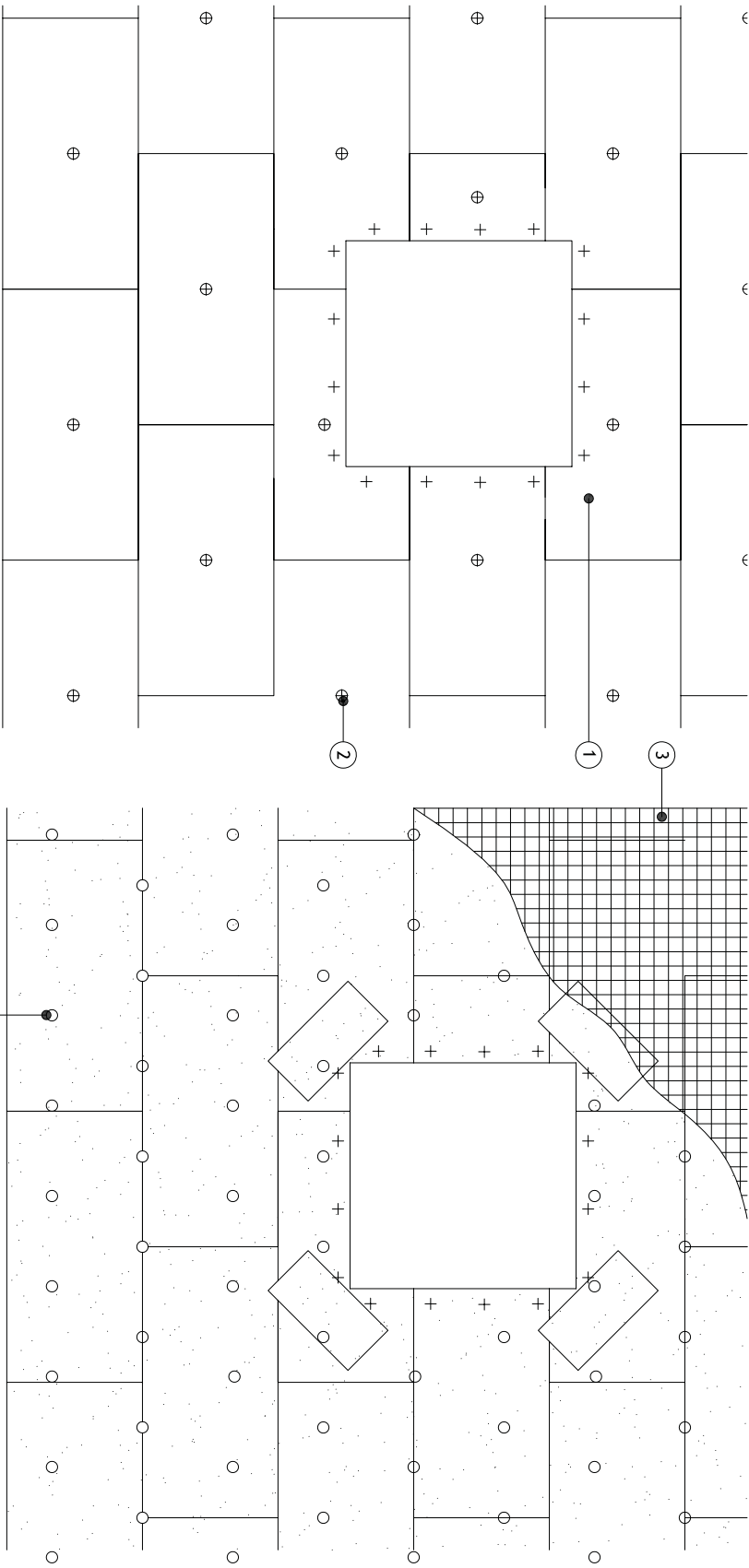
Notes:

- 1 - Refer to Alumasc E.B.P. Ltd for Technical Assistance regarding specification, fixing type and project specific fixing pattern.
- 2 - Main area elevations to follow 1 mechanical fixings through the centre of the board and then 450mm centres through the scrim. TBC by Structural Engineers report.
- 3 - Min. 200mm bond overlap.
- 4 - Fixings at 300mm centres at external corners and openings.

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<p>Revision:</p>		<p>Date: 01.08.2017</p>		<p>© Copyright reserved</p>					


Items:-

- 1 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 2 - Alumasc Approved Mechanical fixing (as per specification)
- 3 - Alumasc Scrim Reinforcement bedded into Alumasc Base Coat

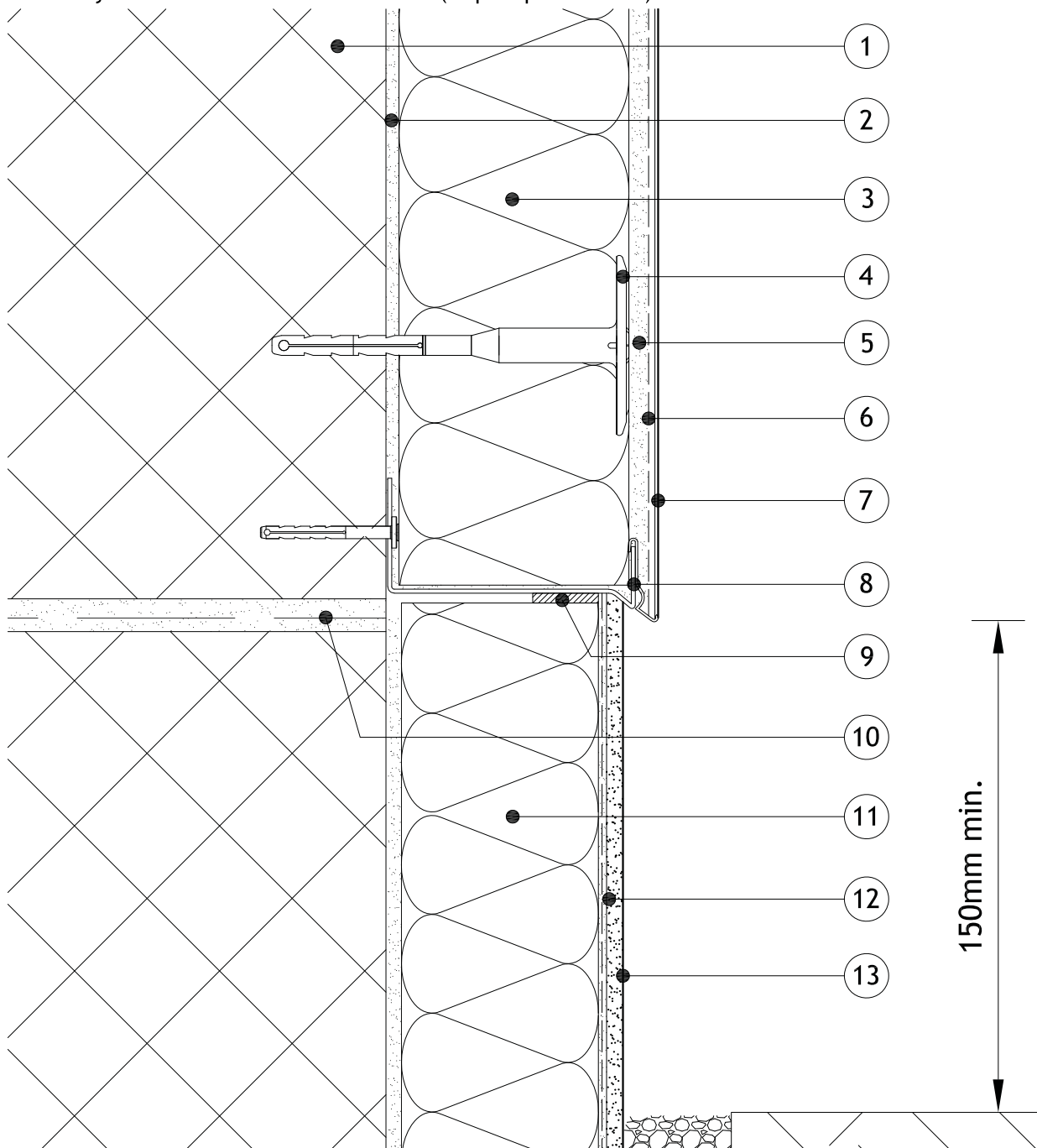


Notes:

- 1 - Refer to Alumasc E.B.P. Ltd for Technical Assistance regarding specification, fixing type and project specific fixing pattern.
- 2 - Main area elevations to follow 1 mechanical fixings through the centre of the board and then 400mm centres through the scrim. TBC by Structural Engineers report.
- 3 - Min. 200mm bond overlap.
- 4 - Fixings at 300mm centres at external corners and openings.

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<p>Revision:</p>		<p>Date: 01.08.2017</p>		<p>© Copyright reserved</p>					

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Starter Track with Clip on Drip Profile (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 10 - Anticipated line of DPC
- 11 - XPS Insulation (as per specification)
- 12 - M.R. Scrim Adhesive with Alumasc Scrim Reinforcement fully bedded in
- 13 - M.R. S2 Polymer Plain Render for below DPC (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Sikolitt Pro EWI System
 Insulated below DPC Detail**

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Drawing No:
S-PRO-M-200

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Revision:

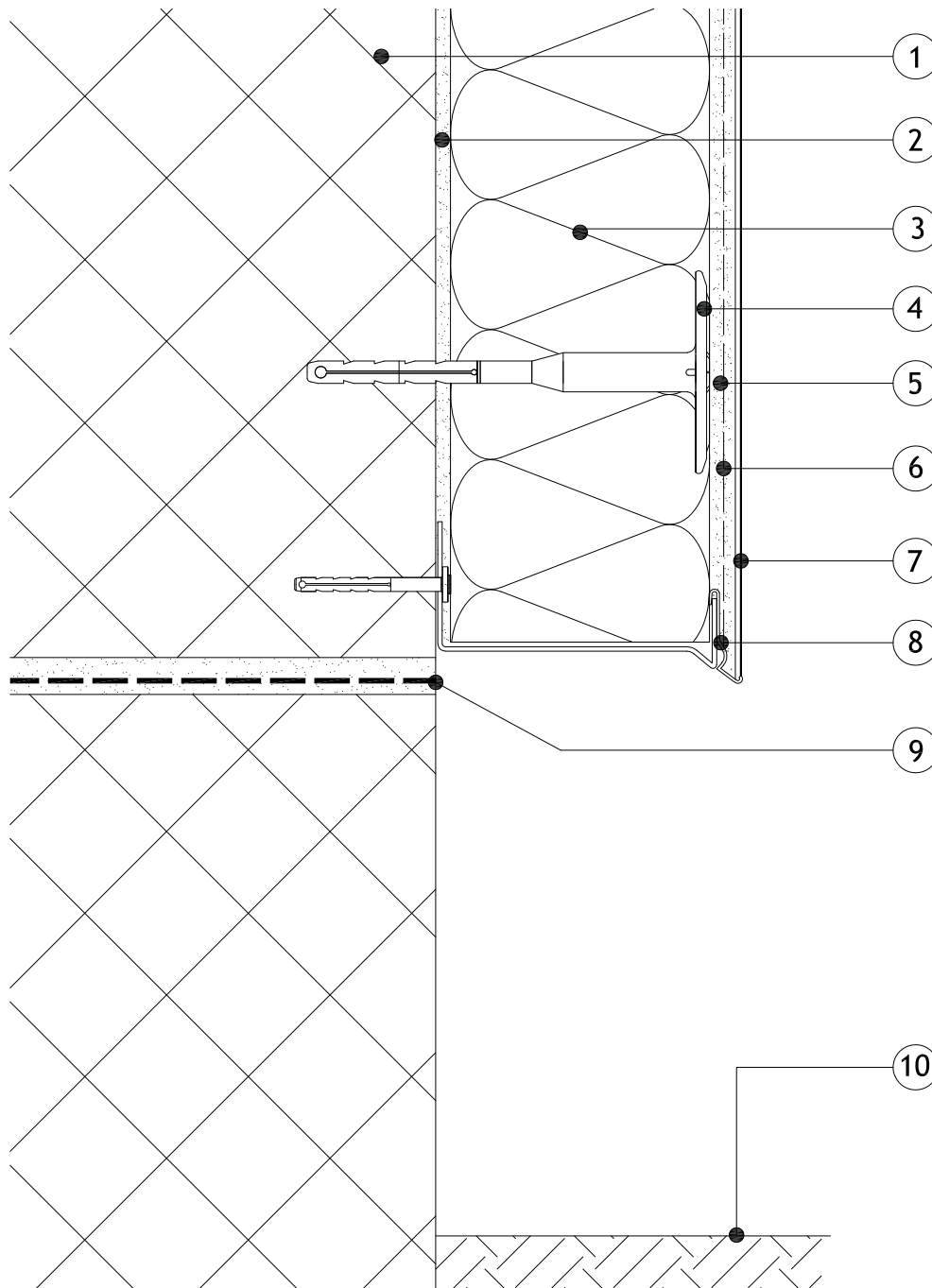
Date:
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Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Anticipated line of DPC
- 10- Existing ground level



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-200 for best practice.



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Drawing title:
**Silkolitt Pro EWI System
 Base Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-201

Scale:
NTS

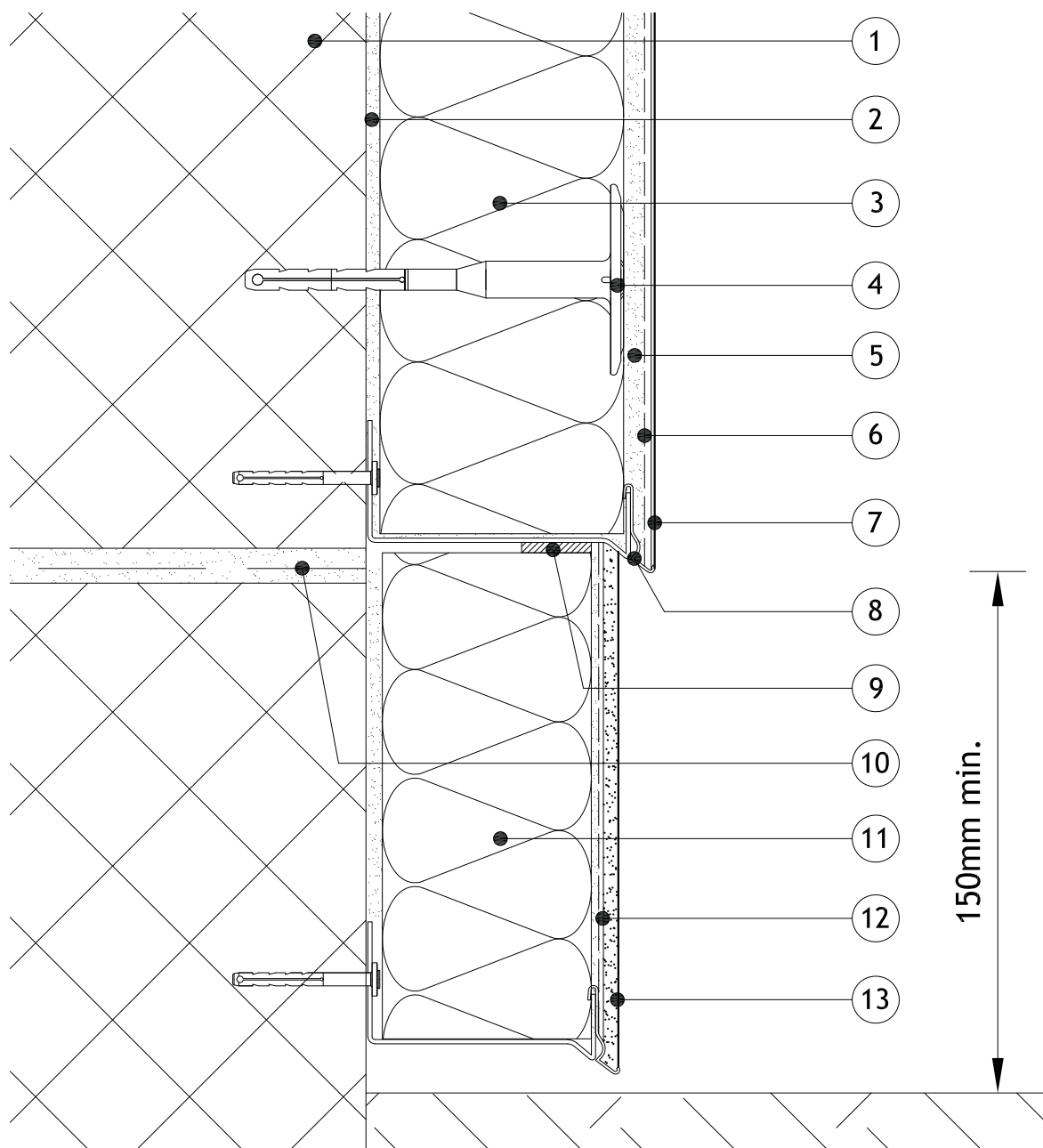
Revision:

Date:
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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 10 - Anticipated line of DPC
- 11 - XPS Insulation (as per specification)
- 12 - M.R. Scrim Adhesive with Alumasc Scrim Reinforcement fully bedded in
- 13 - M.R. S2 Polymer Plain Render for below DPC (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-200 for best practice.



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Drawing title:

**Sikolitt Pro EWI System
 Insulated below DPC Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-202

Scale:
NTS

Revision:

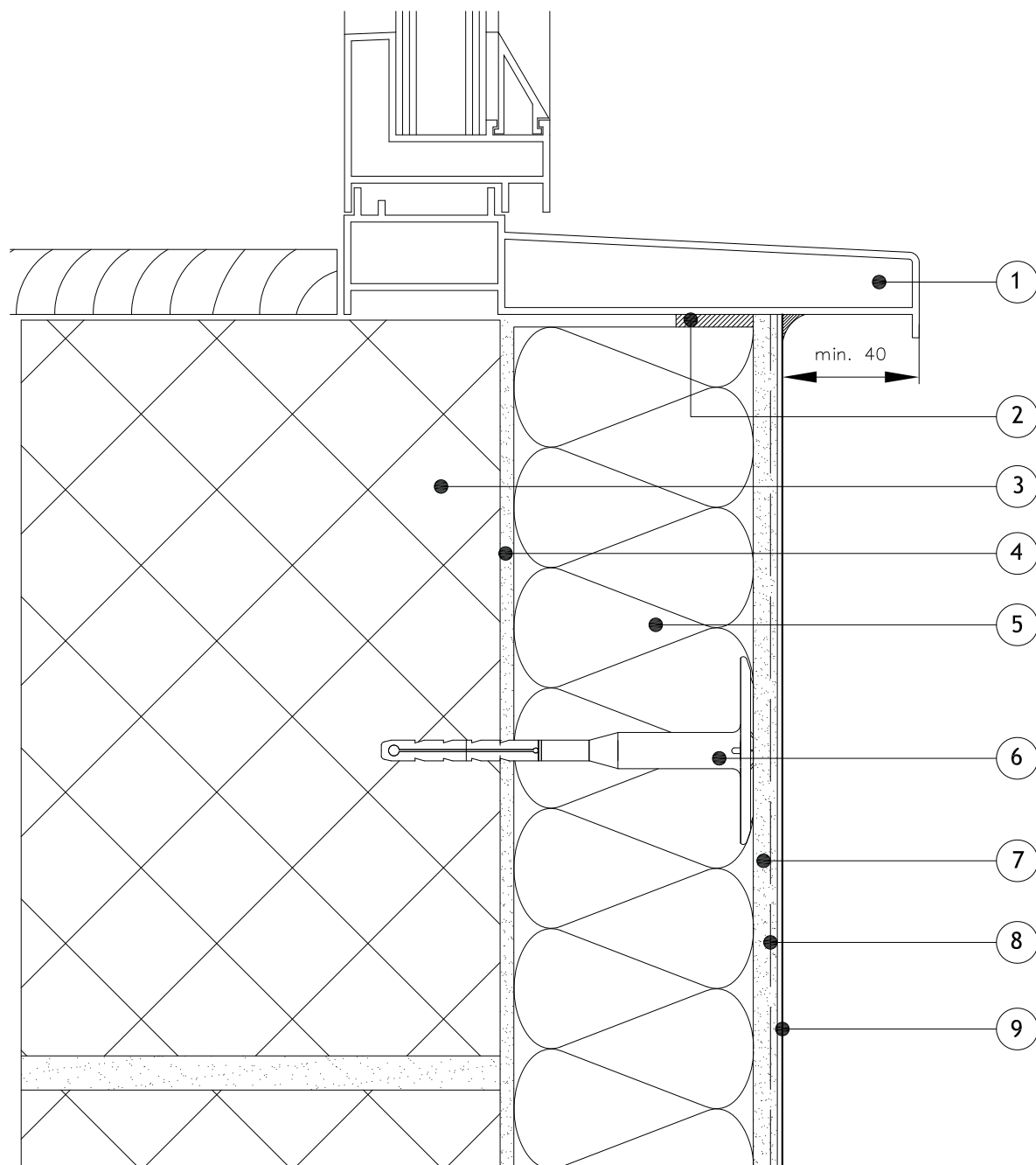
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Items:-

- 1 - Proposed window cill
- 2 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Window Sill Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-300

Scale:
NTS

Revision:

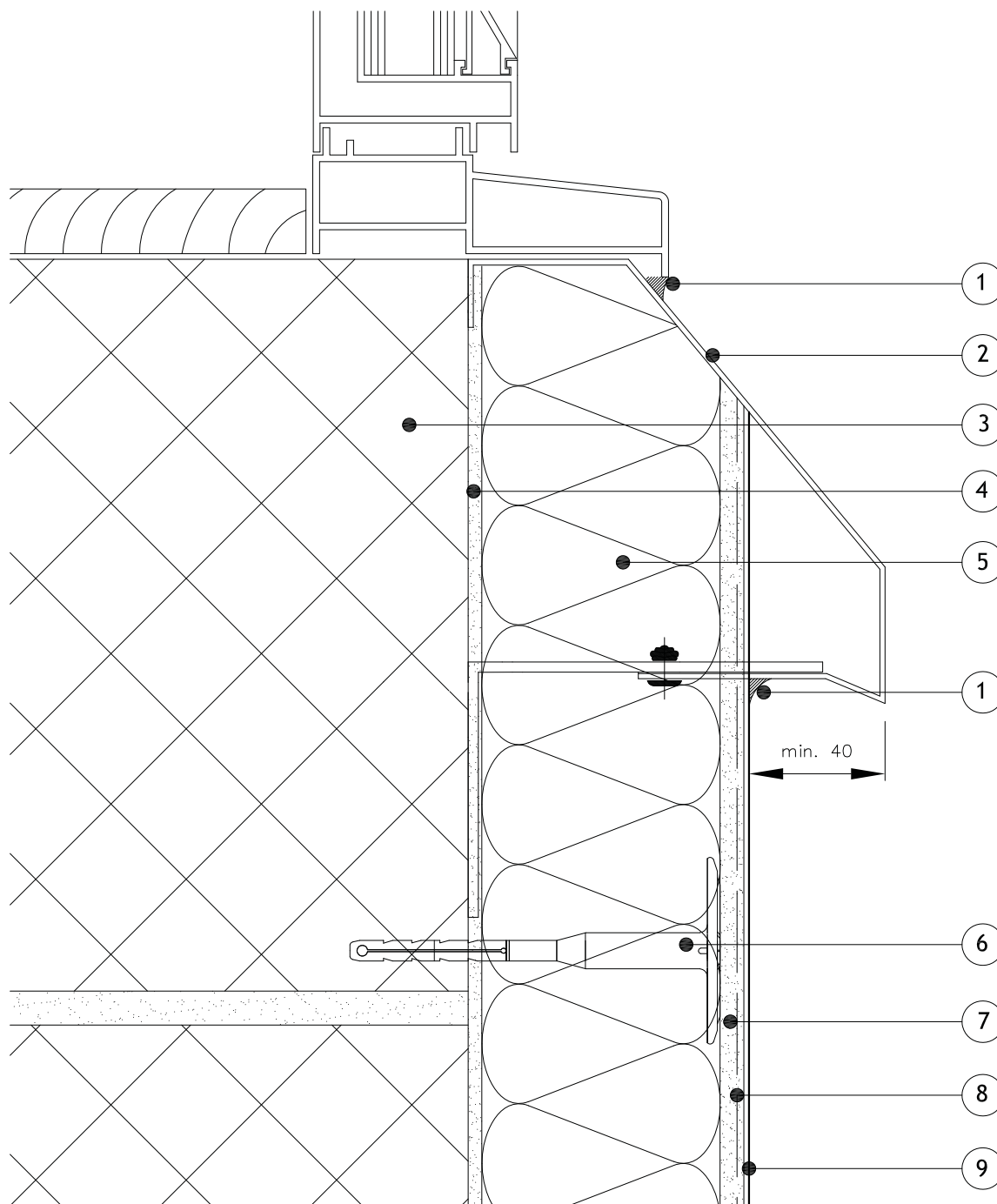
Date:
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Items:-

- 1 - Alumasc Low Modulus Silicone Sealant
- 2 - Alumasc Anti-Perch Window Sill
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Window Sill Anti-Perch Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
S-PRO-M-301

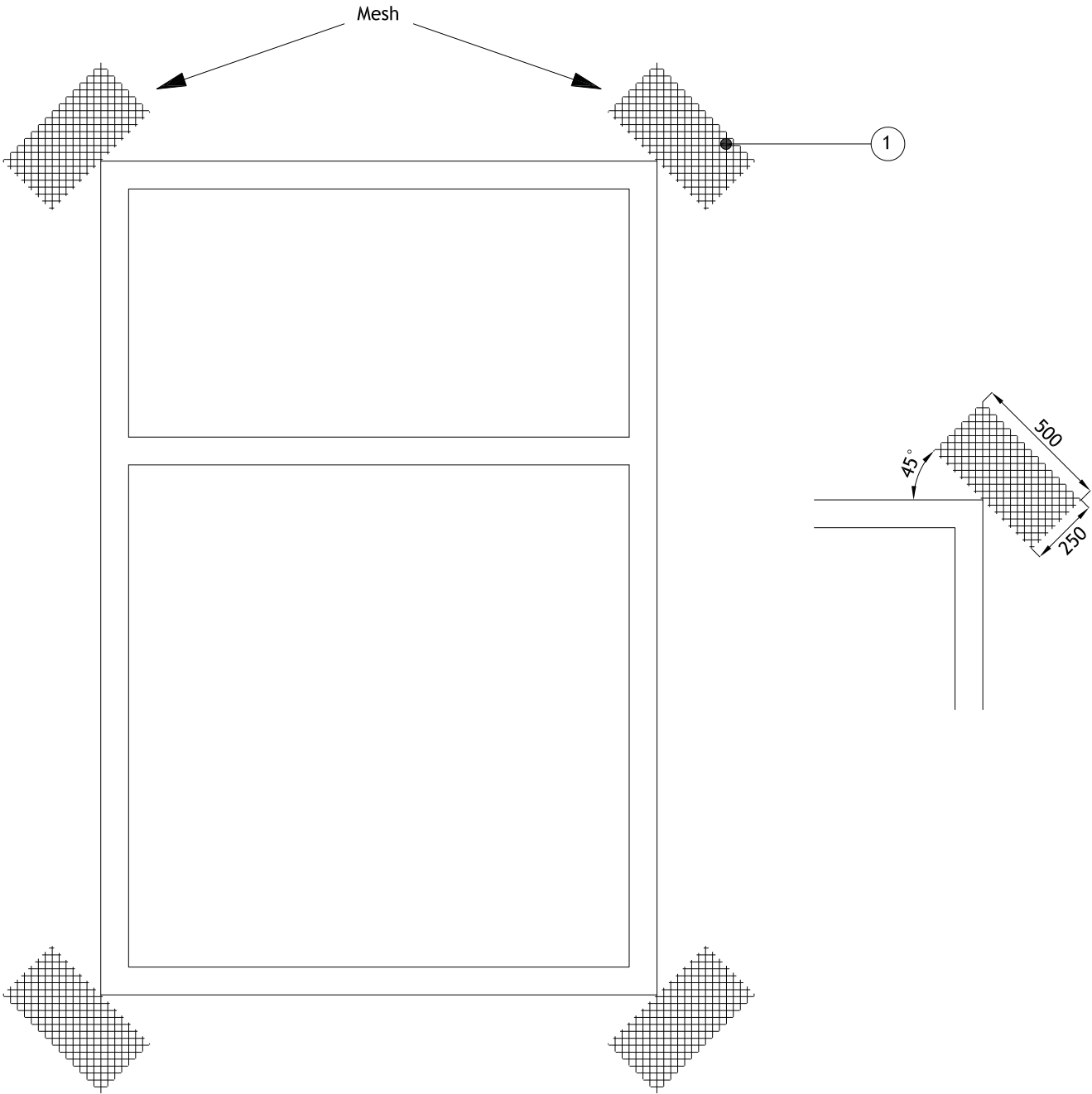
Scale:
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Revision:

Date:
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Website: www.alumascfacades.com
E-mail: info@alumascfacades.com

Drawing title:
**Silkolitt Pro EWI System
Stress Patch Detail**

Detail is valid only when approved by the Architect / Contractor concerned

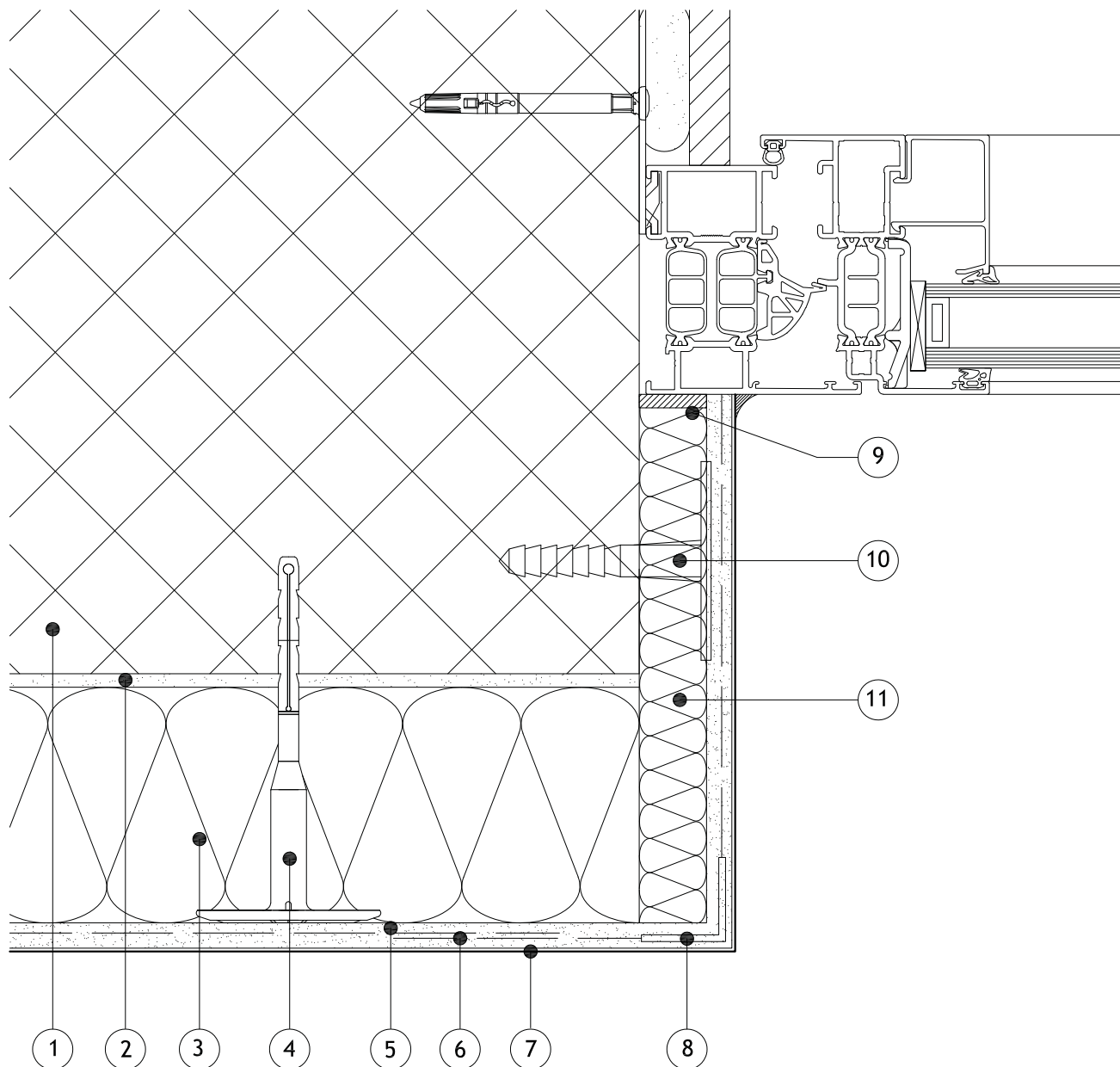
Drawing No:
S-PRO-M-302

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 10 - DIPK fixing for reveal board (as per specification)
- 11 - Alumasc Pro Dual Density Mineral Wool Insulation 20mm (as per specification) mechanically fixed into the reveal



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated Reveal Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-303

Scale:

NTS

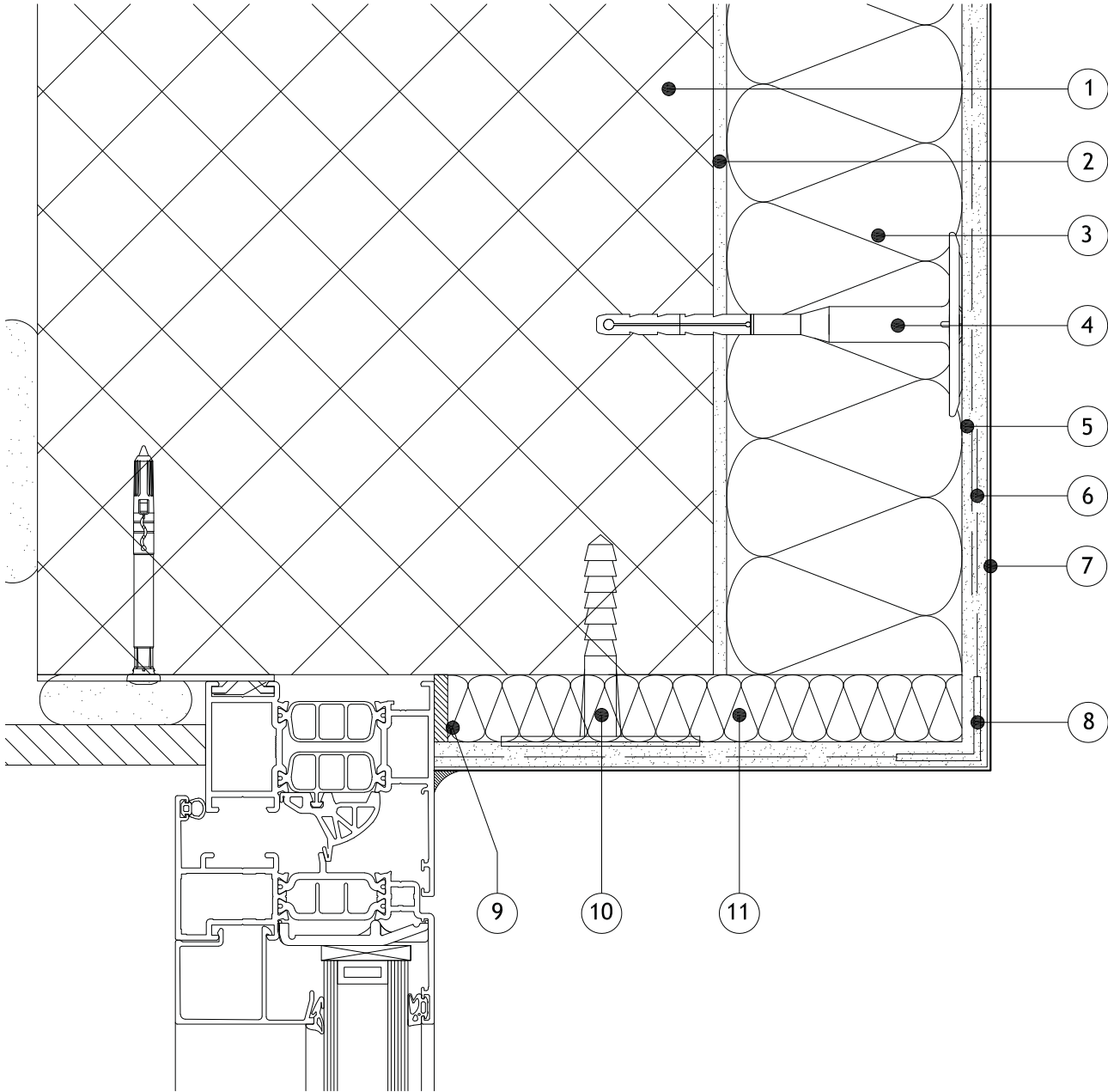
Revision:

Date:

01.08.2017

Items:-

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 10 - Alumasc Pro Dual Density Mineral Wool Insulation 20mm (as per specification) mechanically fixed into the reveal



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:
**Silkolitt Pro EWI System
Insulated Head Detail**

Detail is valid only when approved by the Architect / Contractor concerned

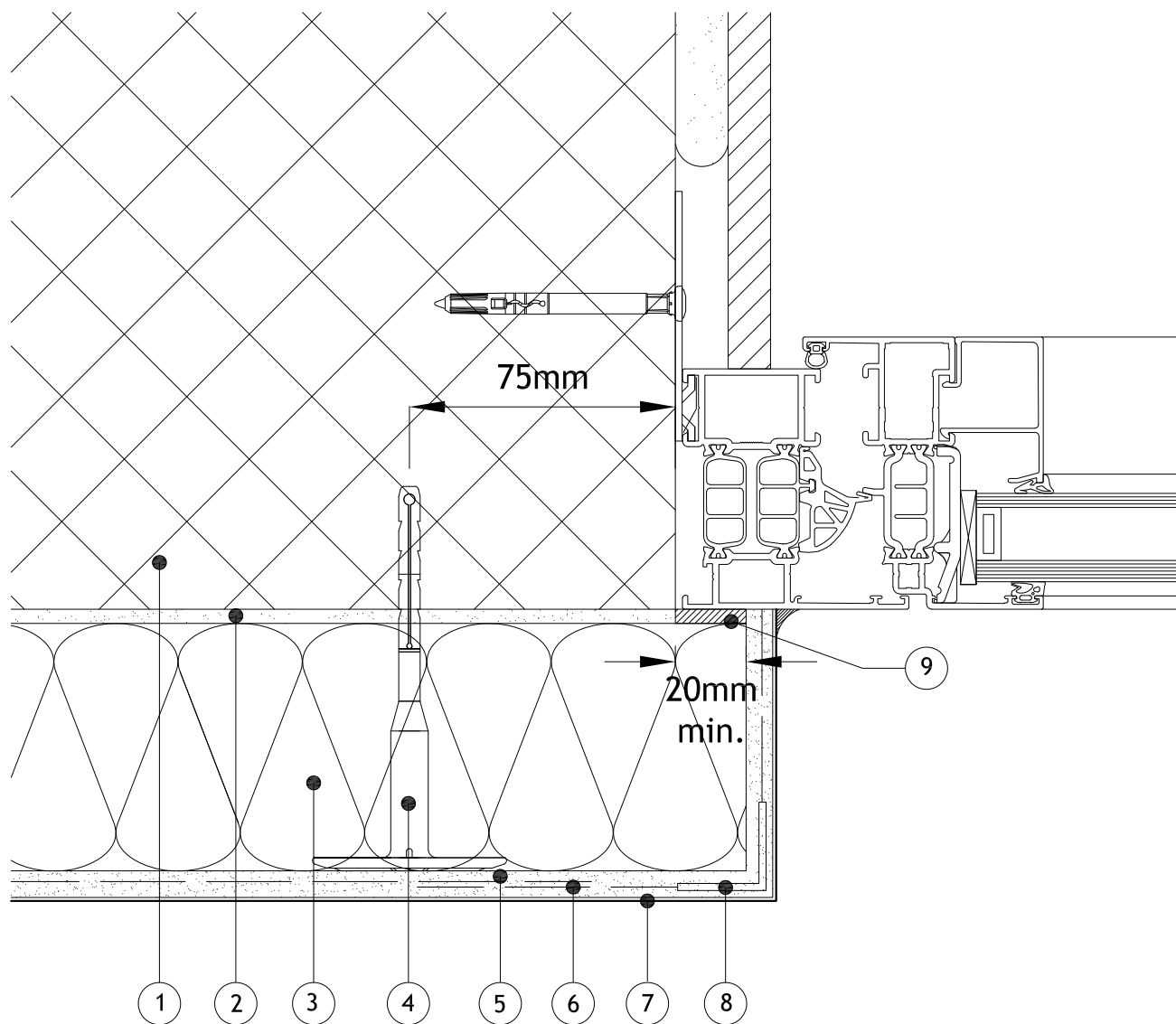
Drawing No:
S-PRO-M-304

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
Insulated Reveal Oversail Detail

Detail is valid only when approved by the Architect / Contractor concerned

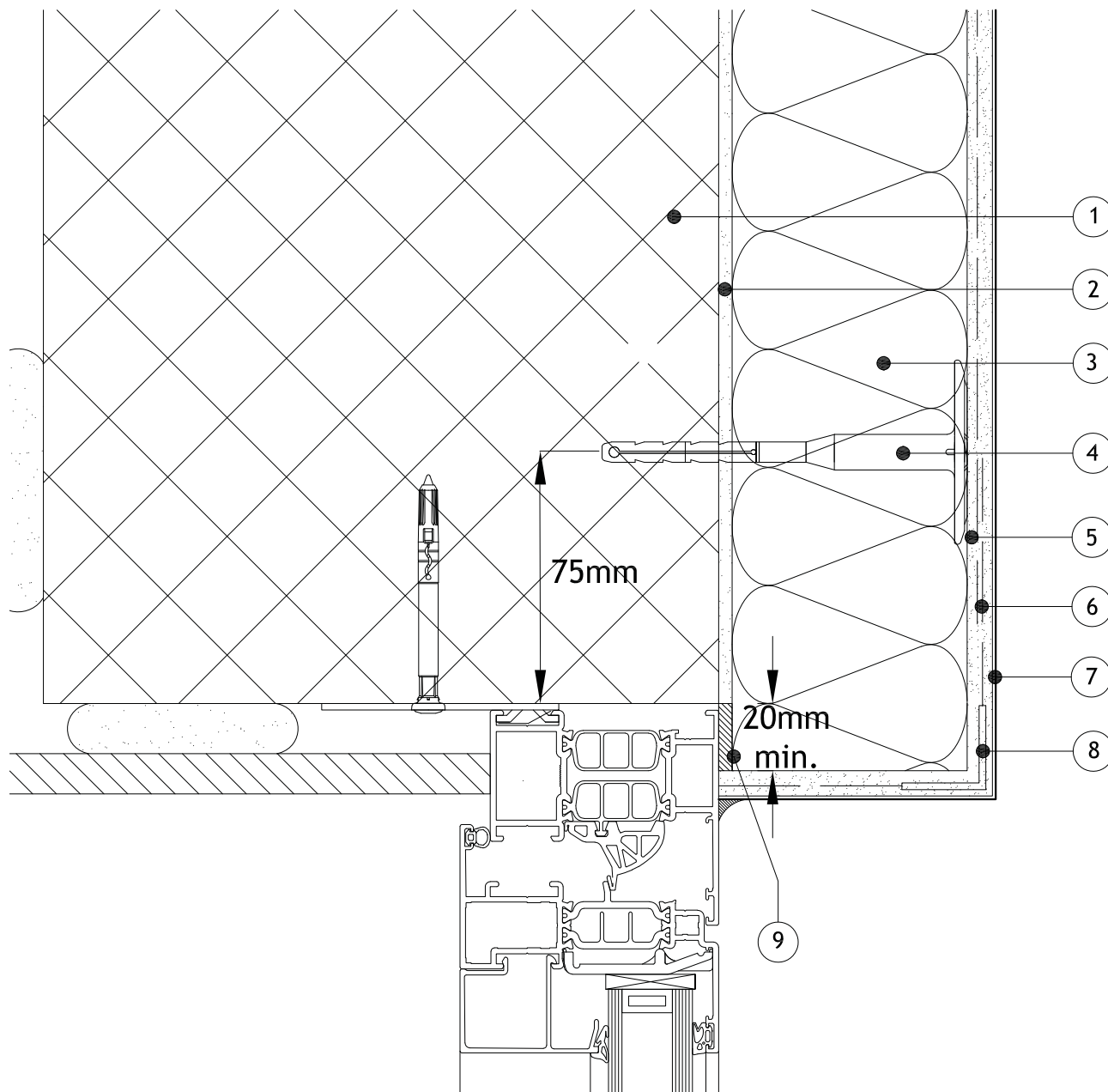
Drawing No:
 S-PRO-M-305

Scale:
 NTS

Revision:

Date:
 01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Insulated Head Oversail Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:
 S-PRO-M-306

Scale:
 NTS

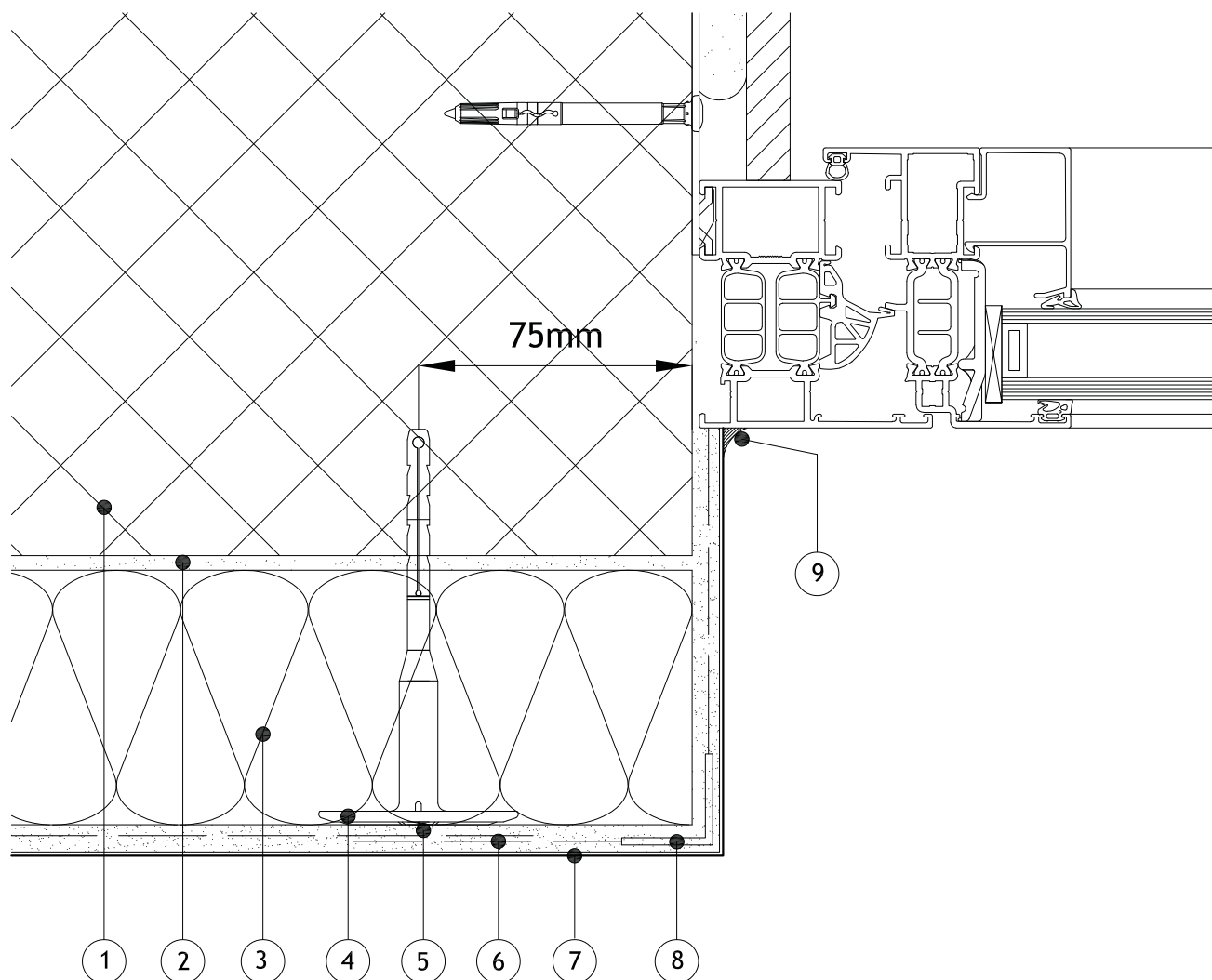
Revision:

Date:
 01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-303 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Non-insulated Reveal Detail**

Detail is valid only when approved by the Architect / Contractor concerned

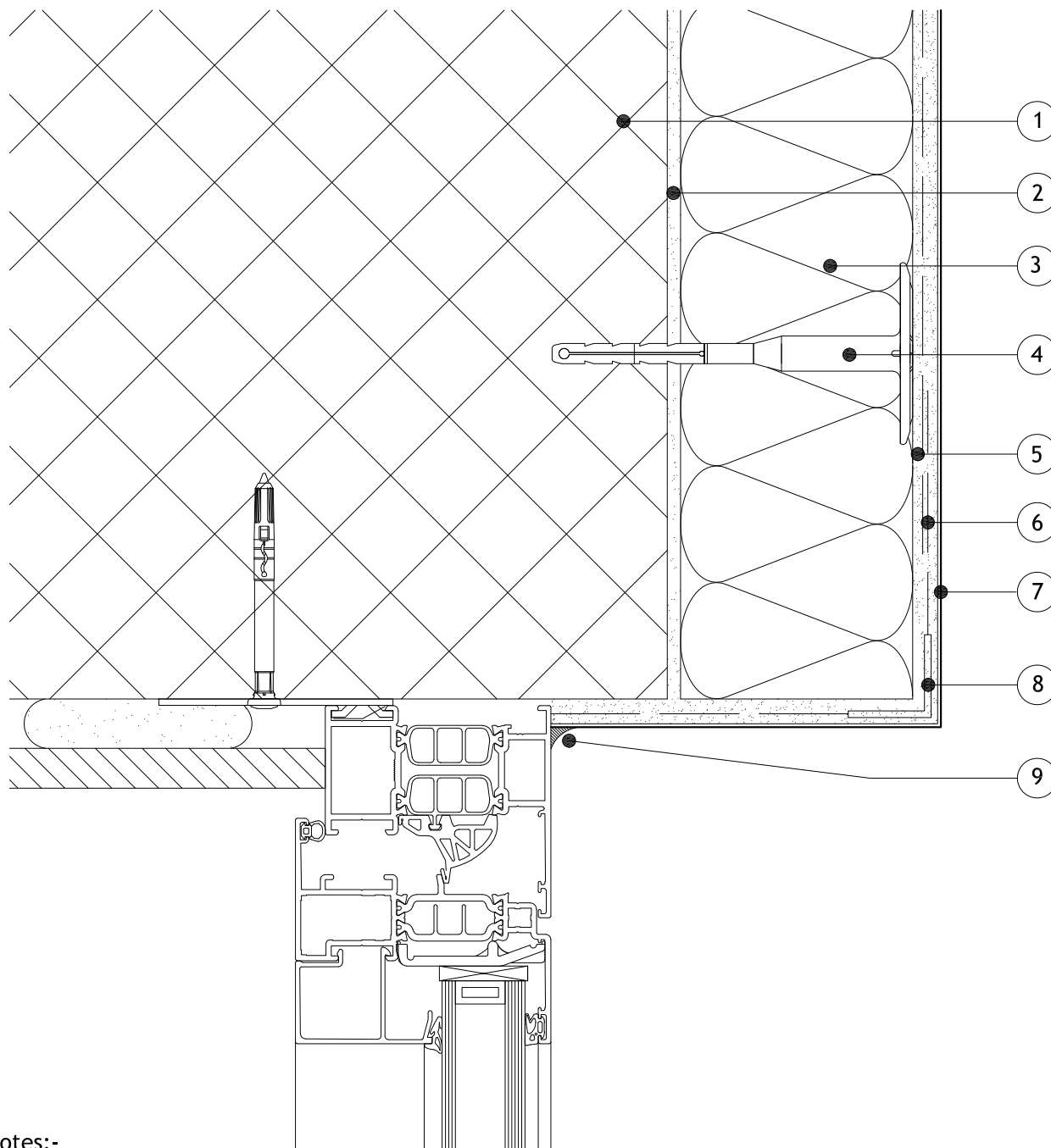
Drawing No:
S-PRO-M-307

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-304 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Non-insulated Head Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-308

Scale:

NTS

Revision:

Date:

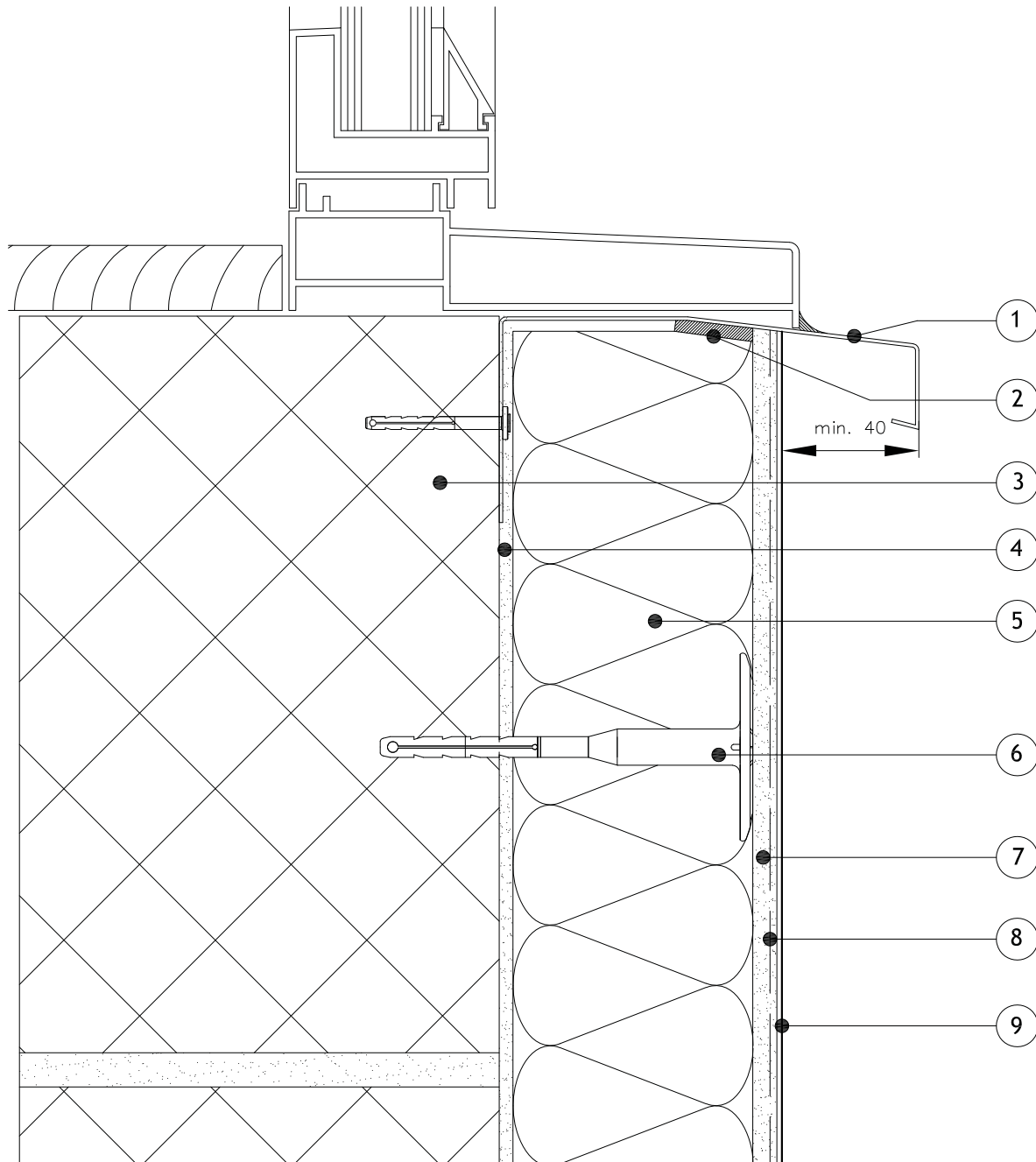
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

Items:-

- 1 - Alumasc Undersill (as per specification)
- 2 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-300 for best practice.
3. Ensure window weep holes and vents are not blocked.



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Drawing title:

**Silkolitt Pro EWI System
 Undersill Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-309

Scale:

NTS

Revision:

Date:

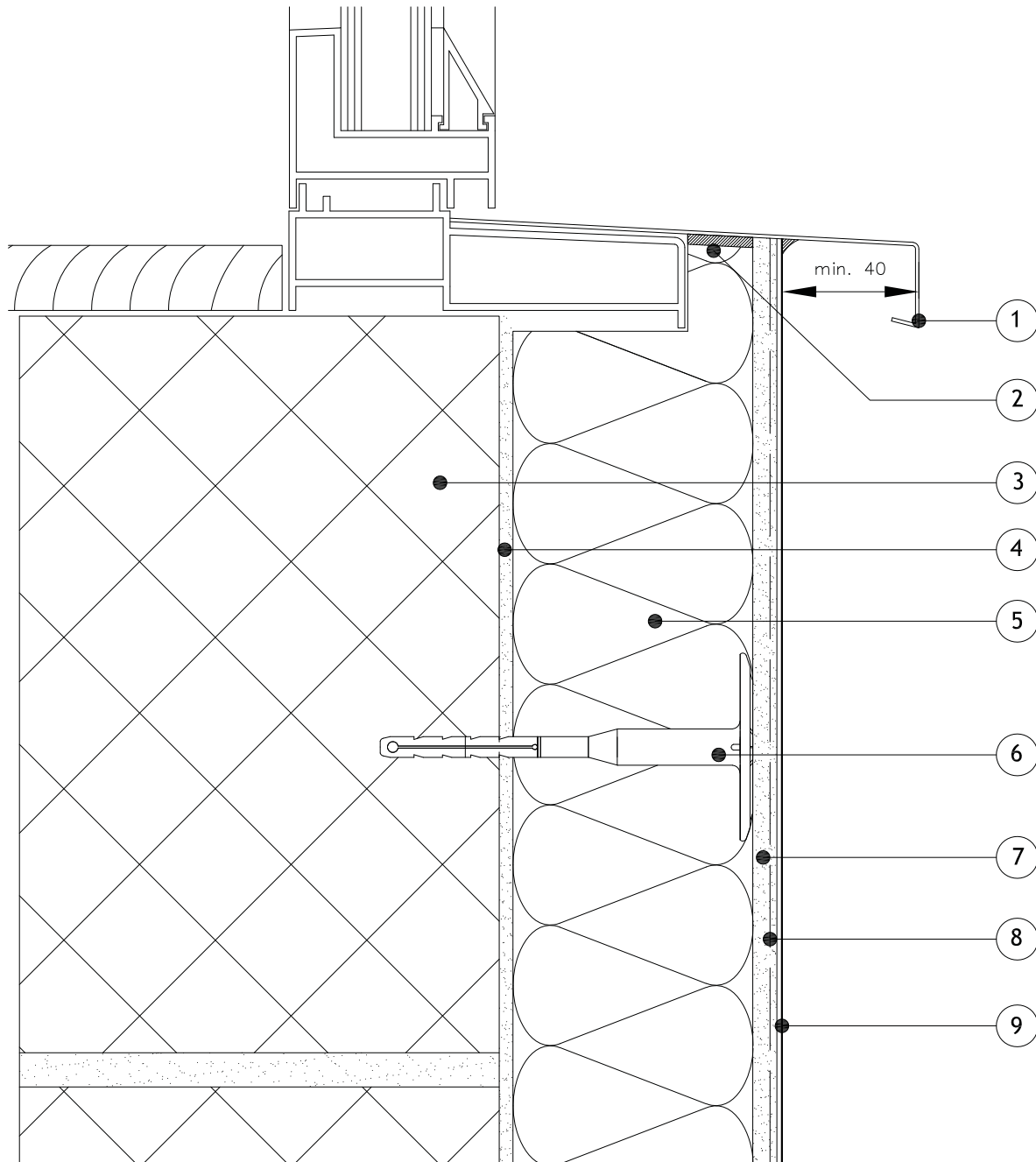
01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

Items:-

- 1 - Alumasc Oversill bedded on Alumasc Low Modulus Silicone Sealant (as per specification)
- 2 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt

**Notes:-**

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-300 for best practice.
3. Ensure that any existing drainage holes are not blocked or install new drainage holes.



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Drawing title:

**Silkolitt Pro EWI System
 Oversill Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-310

Scale:

NTS

Revision:

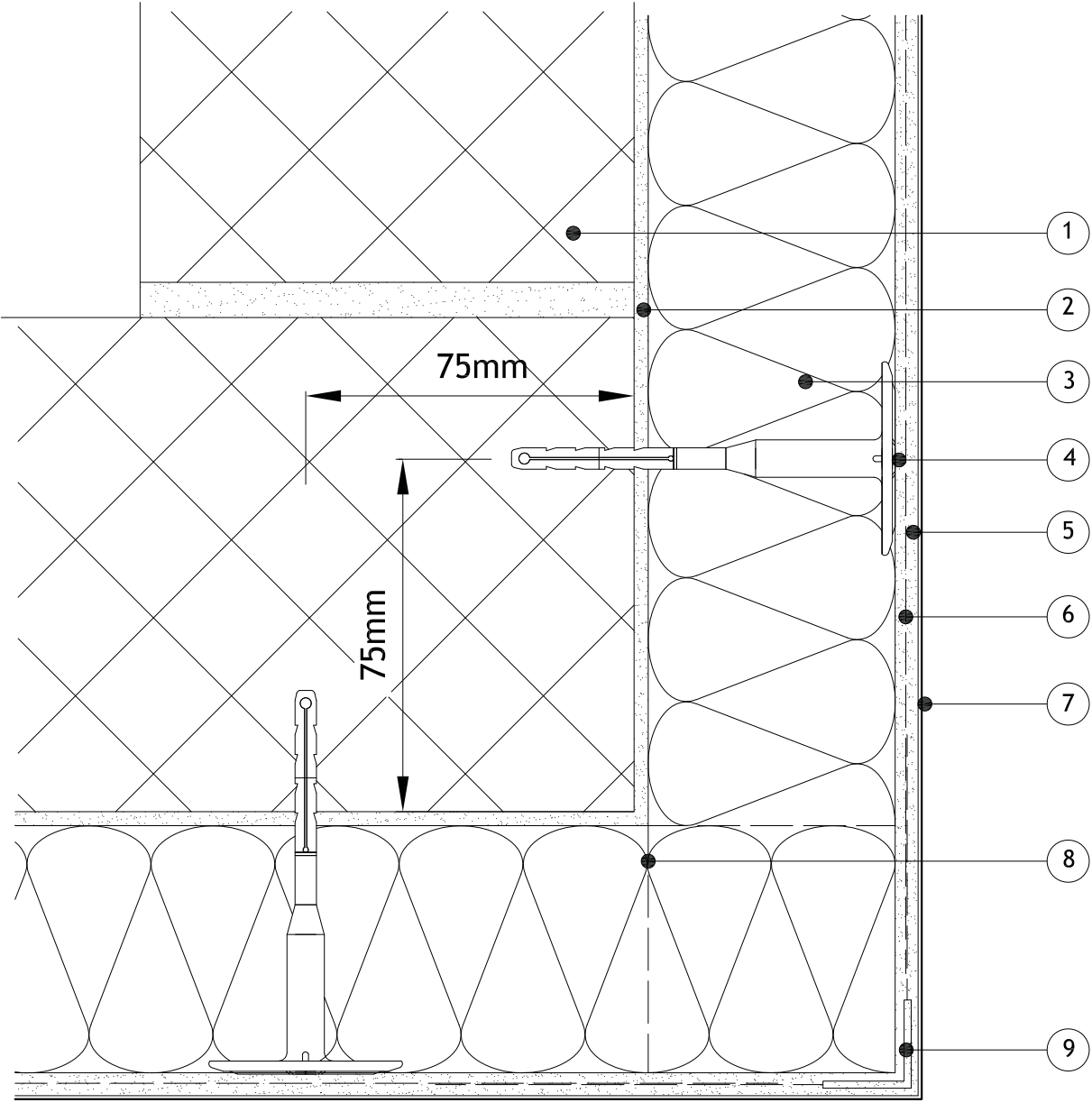
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alternate line of insulation for brick bond (as per specification)
- 9 - ST Corner Bead (as per specification)



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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E-mail: info@alumascfacades.com

Drawing title:
**Silkolitt Pro EWI System
Building Corner Detail**

Detail is valid only when approved by the Architect / Contractor concerned

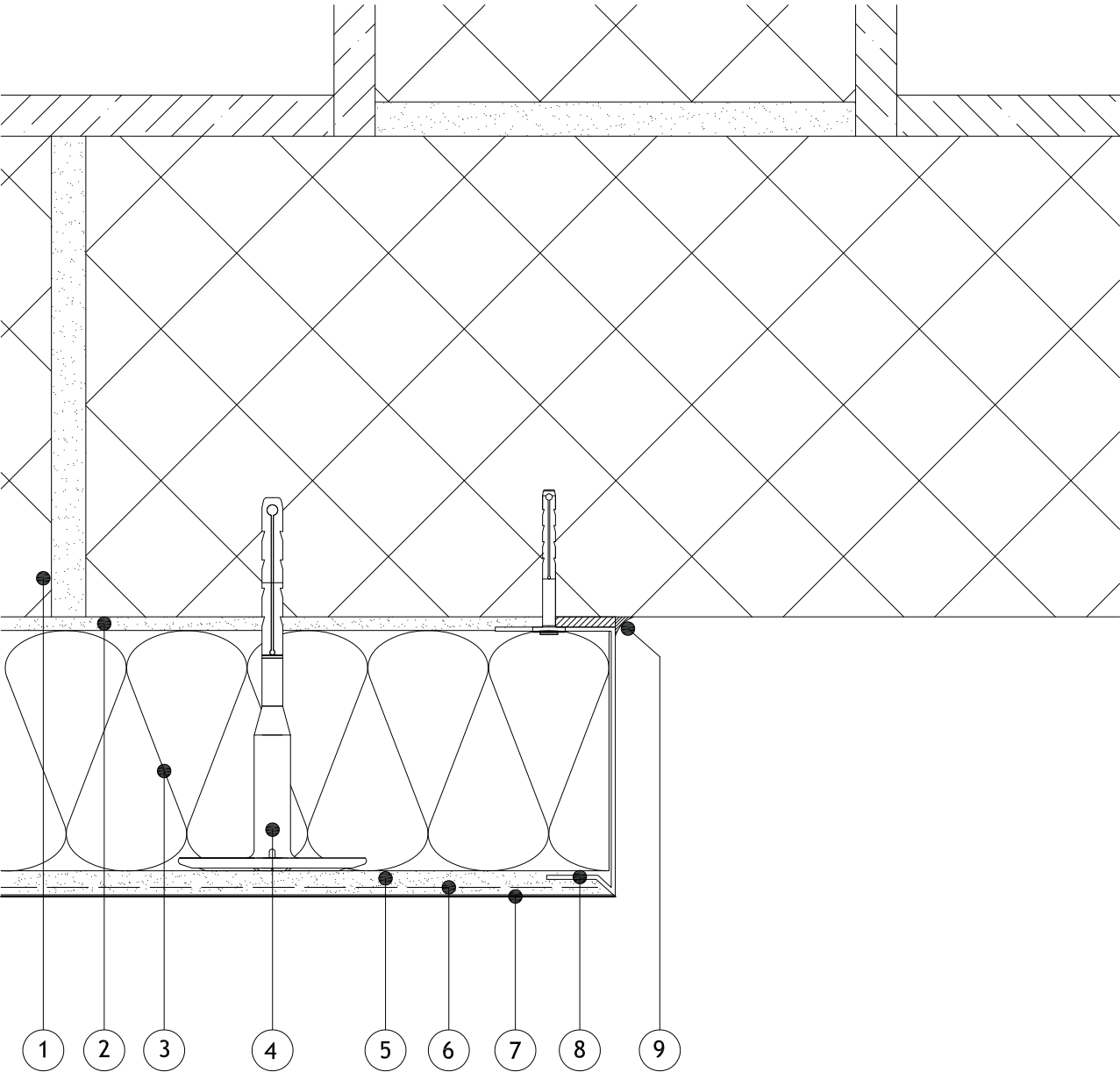
Drawing No:
S-PRO-M-400

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc System Stop Bead (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.
- 2. Please be aware that this detail creates a potential cold bridge.



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E-mail: info@alumascfacades.com

Drawing title:
**Silkolitt Pro EWI System
Party Wall Stop Bead Detail**

Detail is valid only when approved by the Architect / Contractor concerned

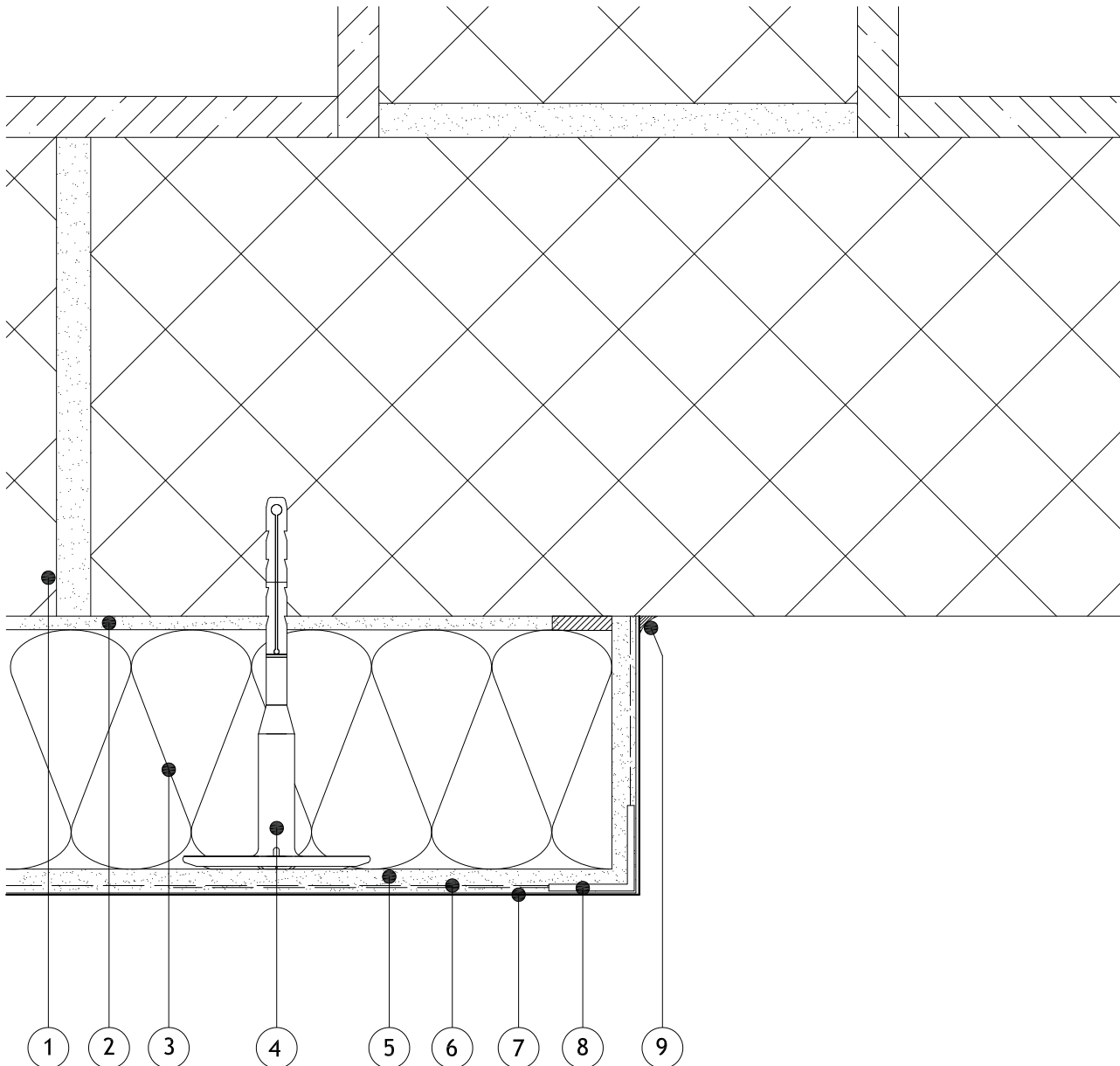
Drawing No:
S-PRO-M-401

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - ST Corner Bead (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge.



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 Website: www.alumascfacades.com
 E-mail: info@alumascfacades.com

Drawing title:

Silkolitt Pro EWI System

Party Wall Stop Render Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-402

Scale:

NTS

Revision:

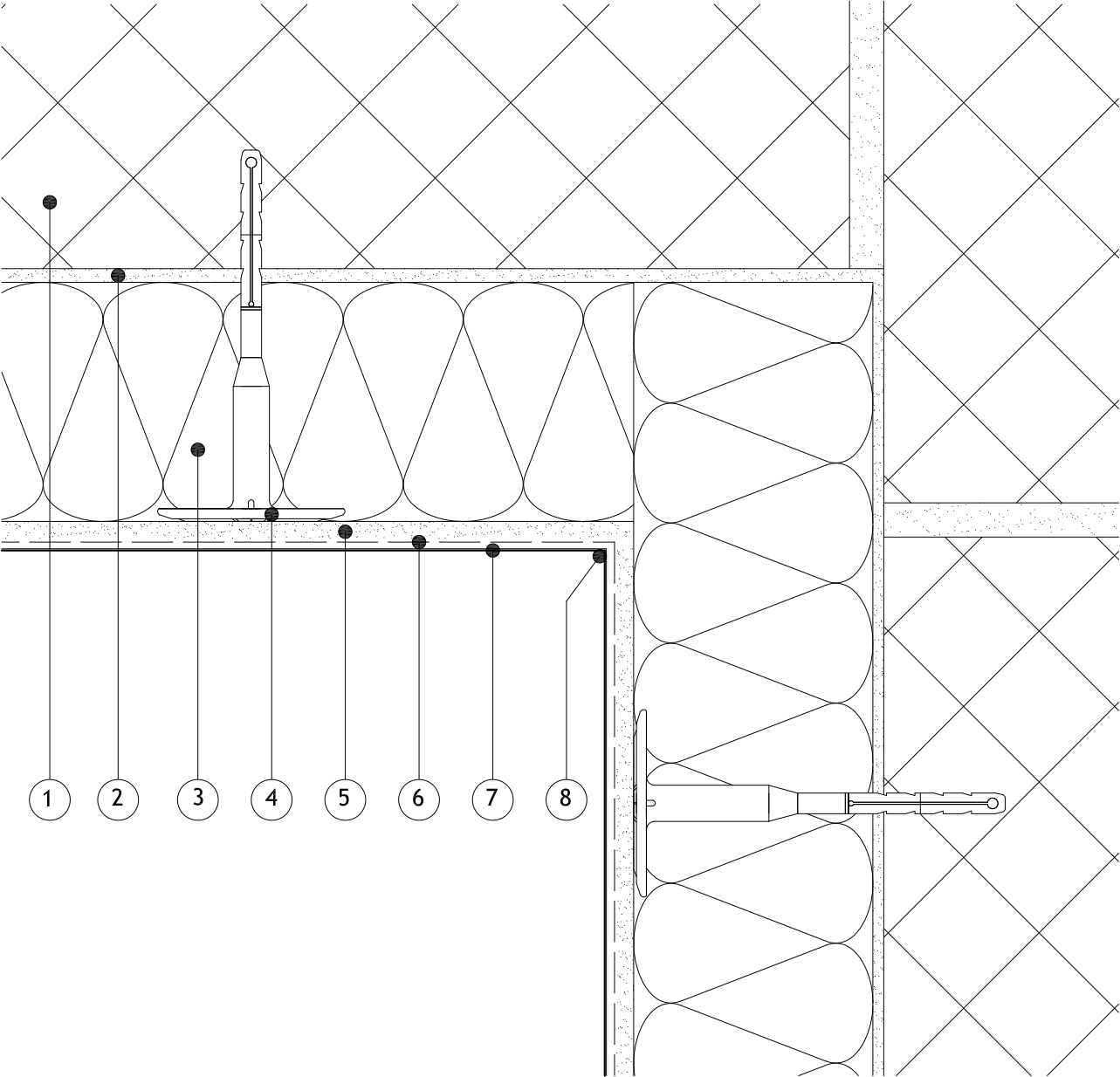
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Low Modulus Silicone Sealant applied prior to Silkolitt render



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

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Website: www.alumascfacades.com
E-mail: info@alumascfacades.com

Drawing title:
**Silkolitt Pro EWI System
Internal Corner Detail**

Detail is valid only when approved by the Architect / Contractor concerned

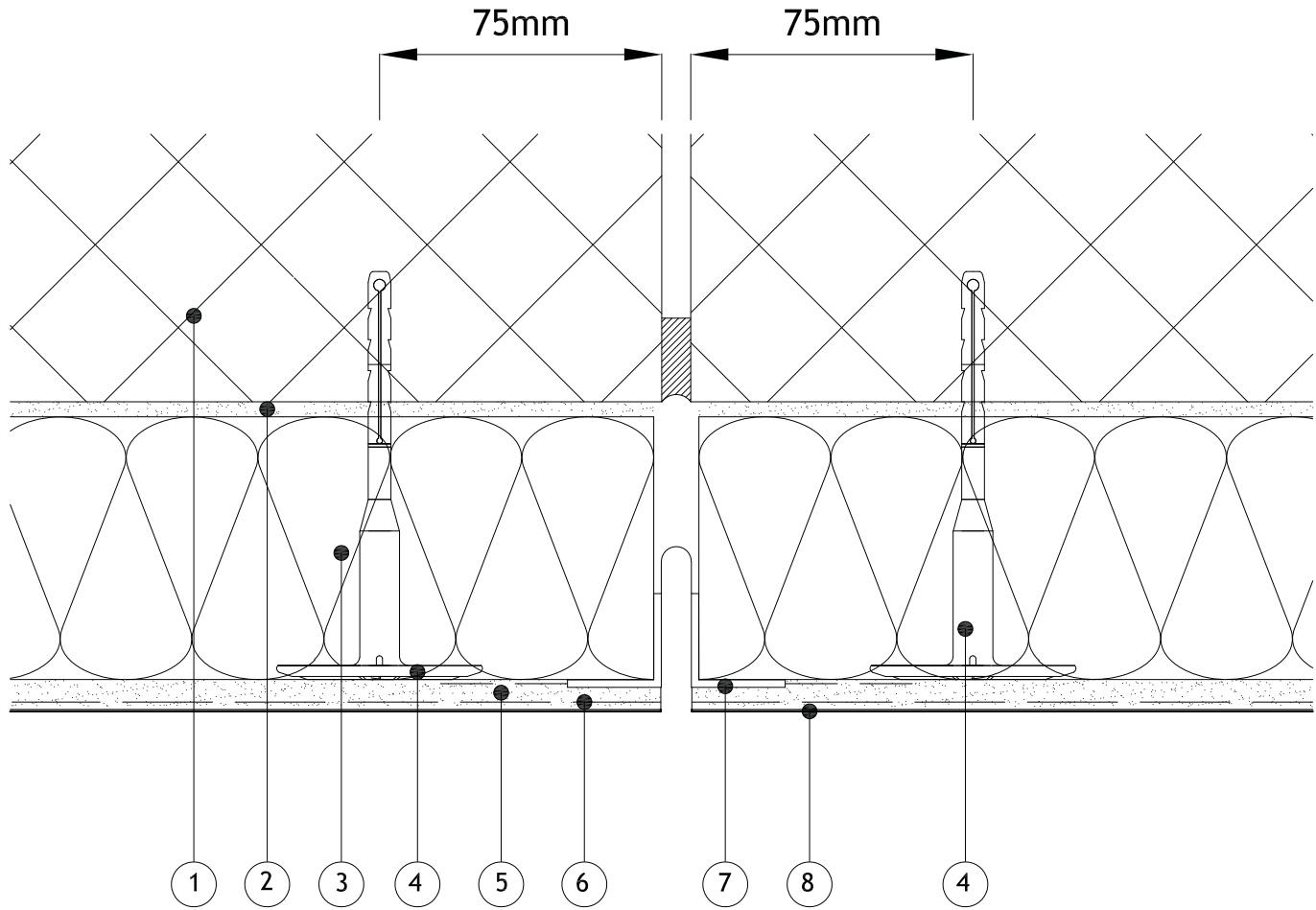
Drawing No:
S-PRO-M-403

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Movement profile (Ref: MR8575) bedded into Alumasc Base Coat
- 8 - Alumasc Silicone Primer & Silkolitt



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:
Sikolitt Pro EWI System
Vertical Movement Joint Detail

Detail is valid only when approved by the Architect / Contractor concerned

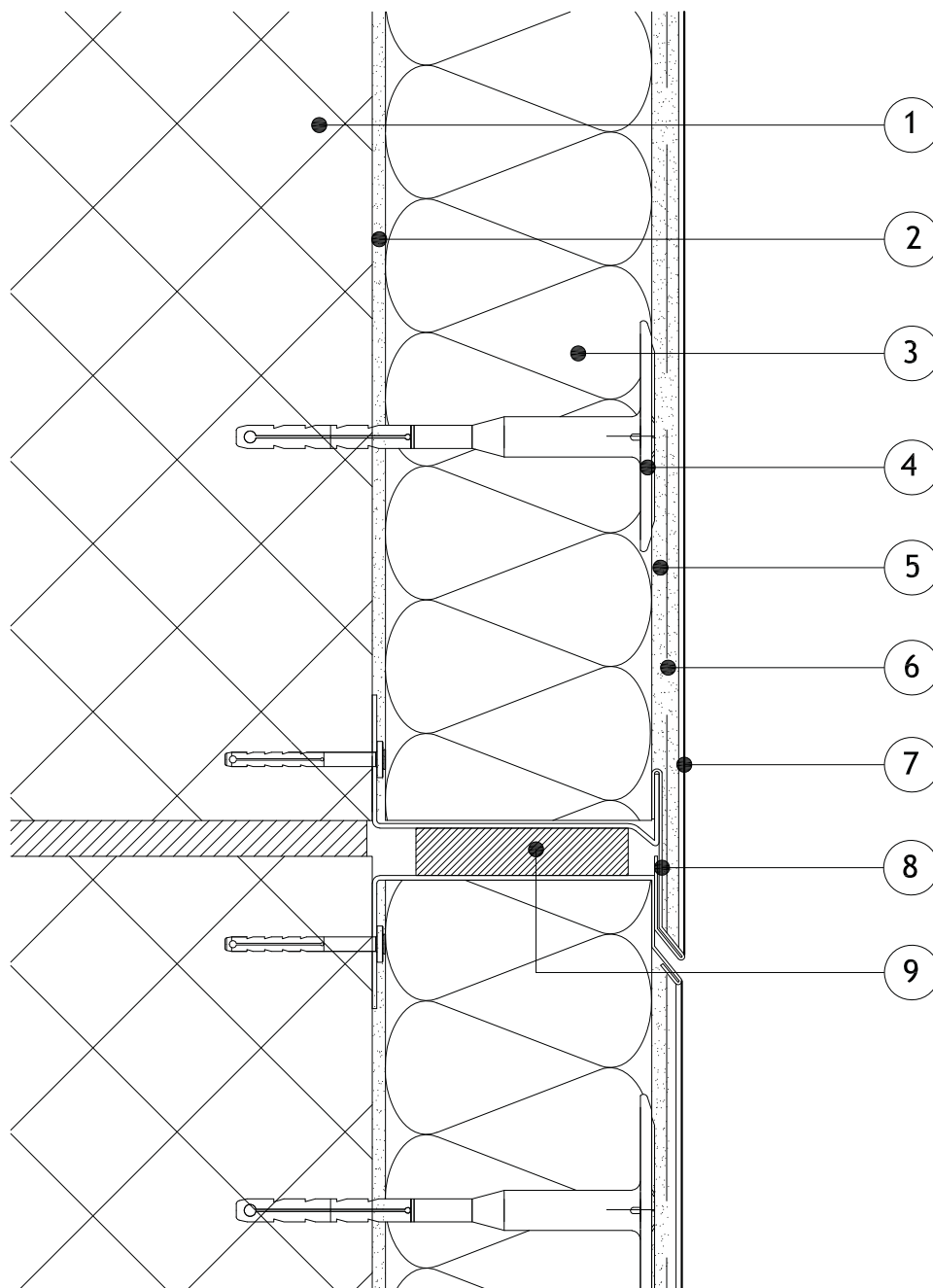
Drawing No:
S-PRO-M-500

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Starter Track with 9181 & 9182FS Movement Bead (as per specification)
- 9 - Alumasc Sealing tape



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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 E-mail: info@alumascfacades.com

Drawing title:

Silkolitt Pro EWI System
Horizontal Full System Movement Detail

Detail is valid only when approved by the Architect / Contractor concerned

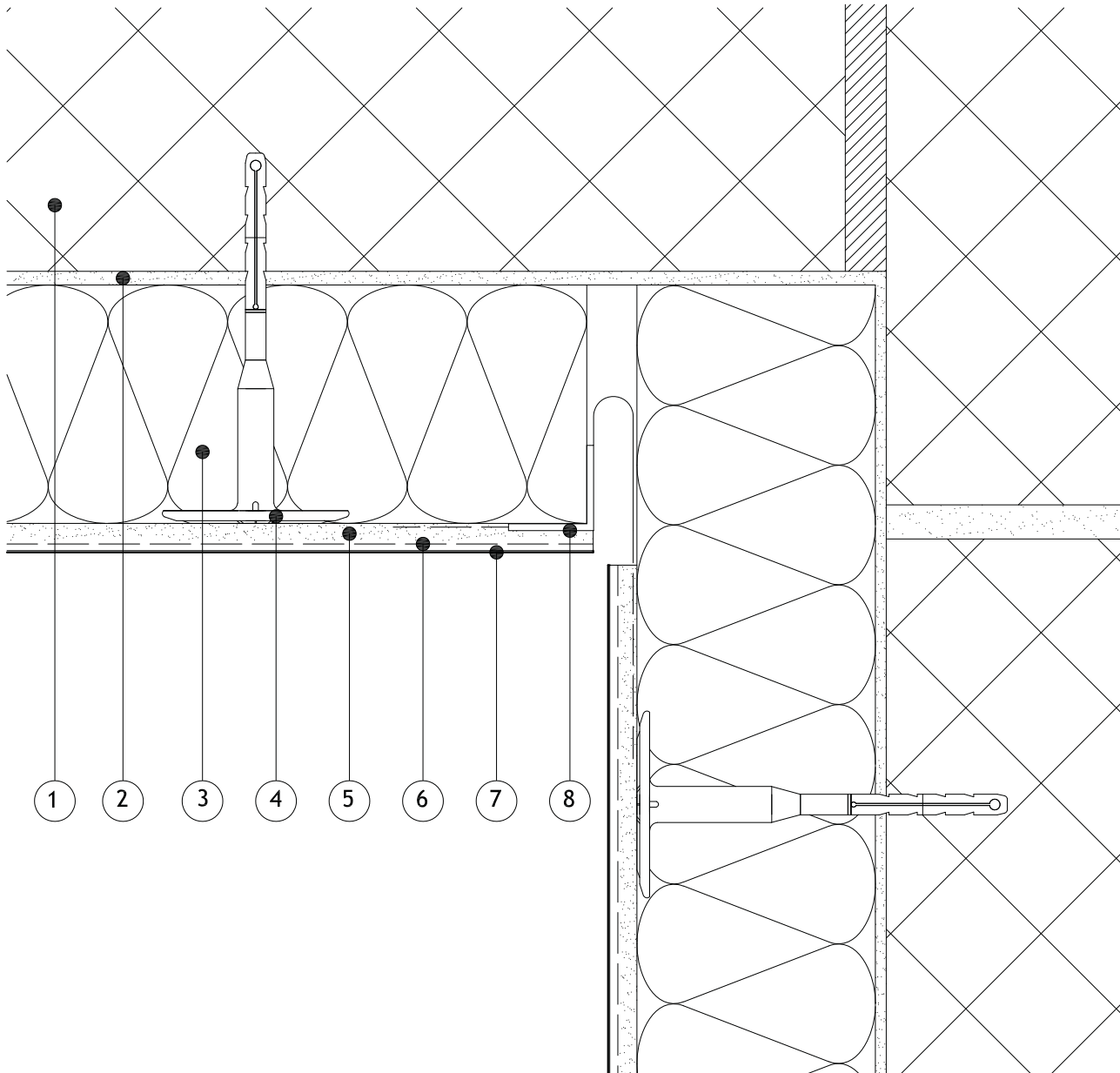
Drawing No:
S-PRO-M-501

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Internal Corner Movement profile (Ref: MR8576) bedded into Alumasc Base Coat



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
Internal Corner Full System Movement Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-502

Scale:

NTS

Revision:

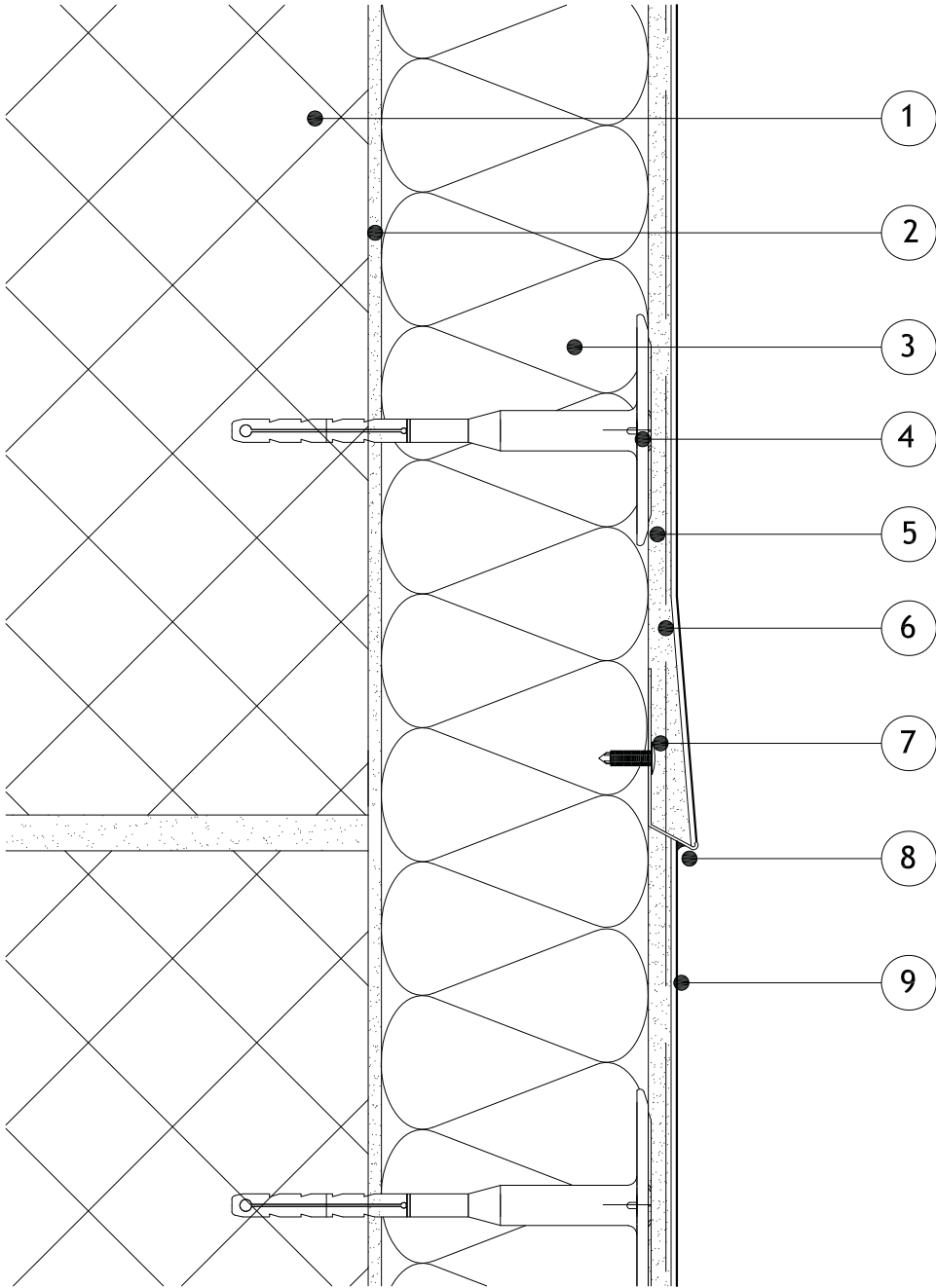
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Surface Bellcast Bead (as per specification) fixed @ 300mm centres with Alumasc Fir Tree fixings
- 8 - Alumasc Low Modulus Silicone Sealant
- 9 - Alumasc Silicone Primer & Silkolitt



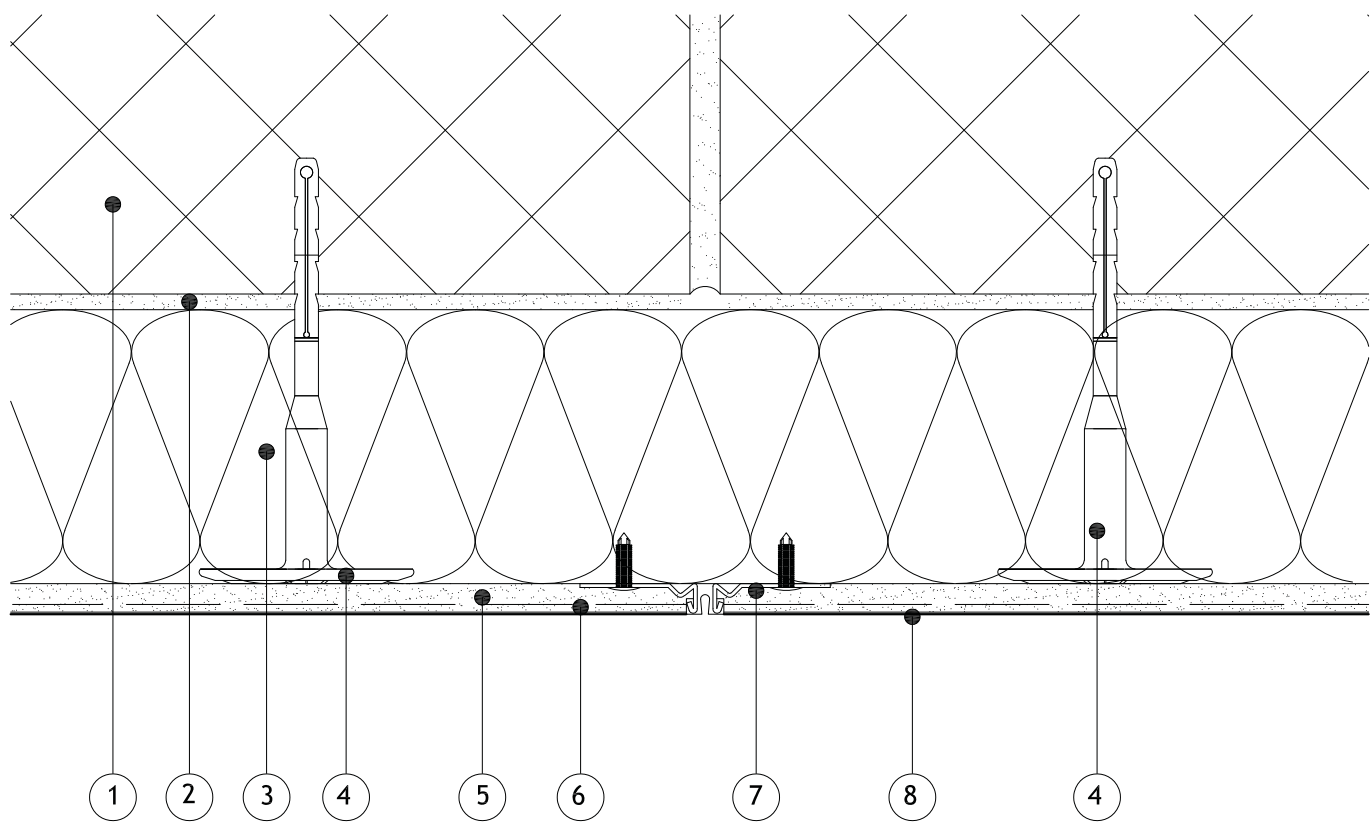
Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

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	Drawing No: S-PRO-M-600		Scale: NTS	
	Revision:		Date: 01.08.2017	

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Expansion profile fixed with Fir Tree Fixings at 300mm centres
- 8 - Alumasc Silicone Primer & Silkolitt



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.



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Website: www.alumascfacades.com
E-mail: info@alumascfacades.com

Drawing title:
Silkolitt Pro EWI System
Vertical Surface Expansion Detail

Detail is valid only when approved by the Architect / Contractor concerned

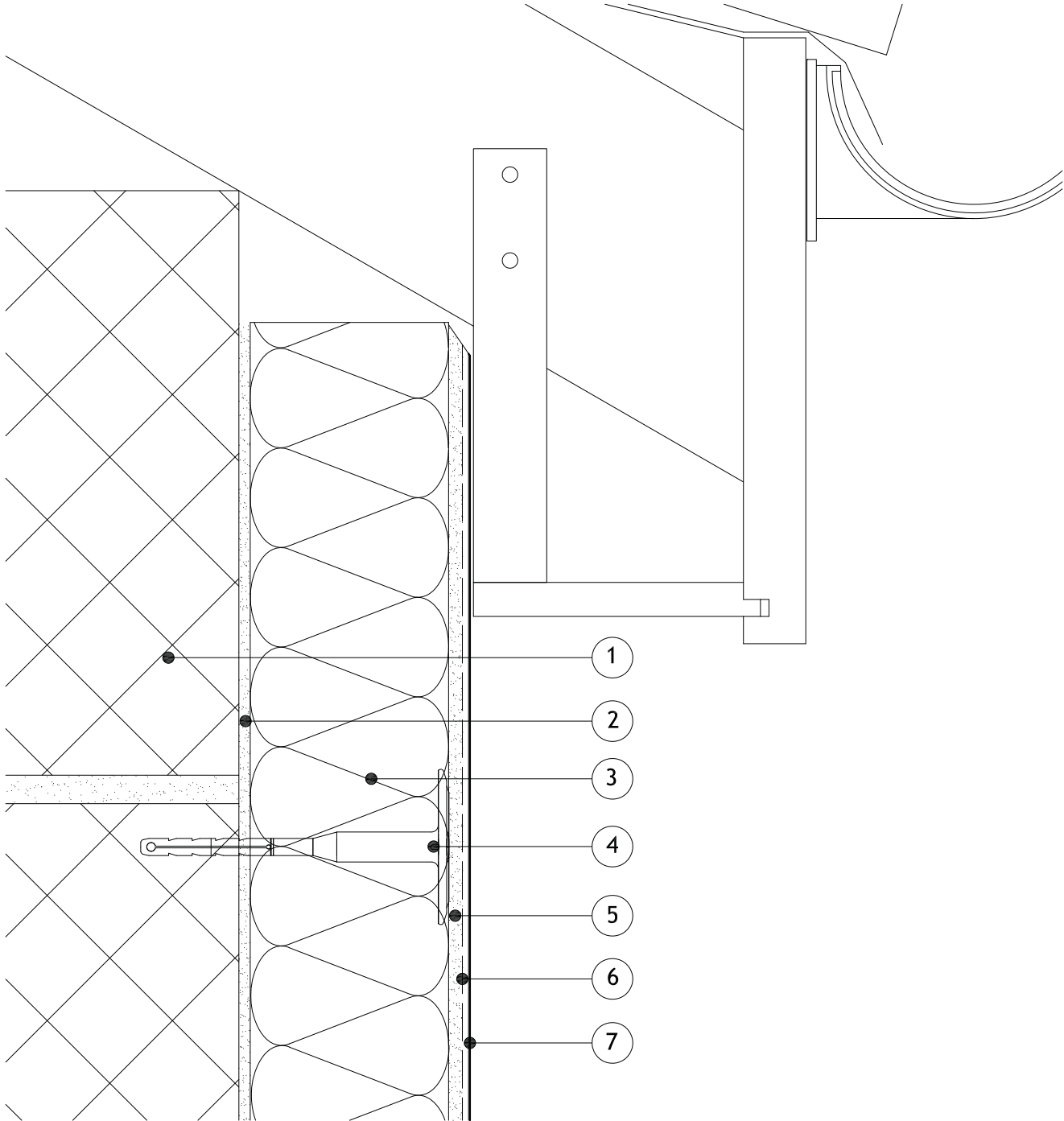
Drawing No:
S-PRO-M-601

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt



Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.



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E-mail: info@alumascfacades.com

Drawing title:
**Sikolitt Pro EWI System
Eaves Detail**

Detail is valid only when approved by the Architect / Contractor concerned

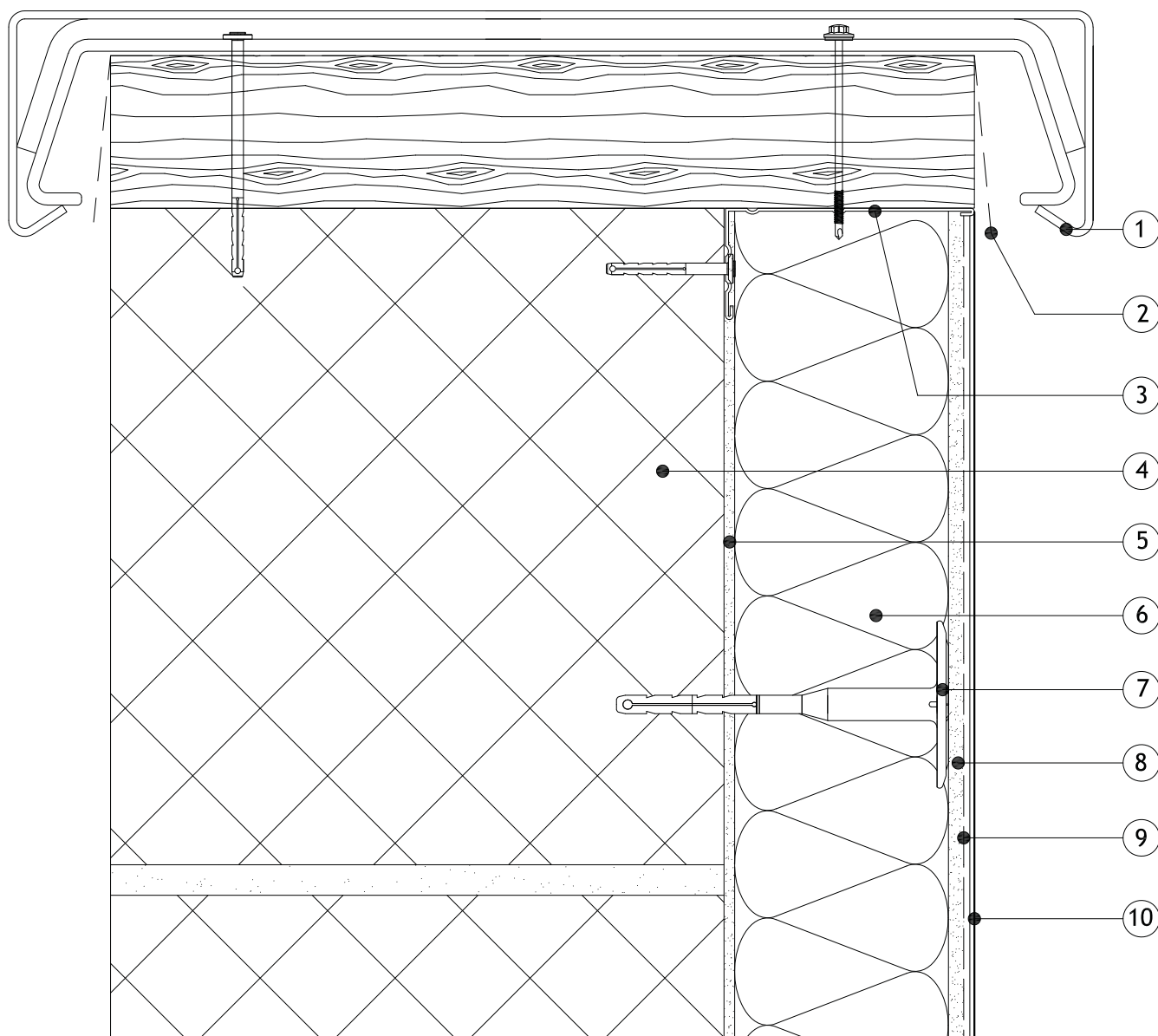
Drawing No:
S-PRO-M-700

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Skyline coping system
- 2 - DPC (installed by others)
- 3 - Alumasc System Stop Bead (as per specification)
- 4 - Masonry Structure
- 5 - M.R. Bedding Adhesive (if required, please refer to specification)
- 6 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 7 - Alumasc Approved Mechanical fixing (as per specification)
- 8 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 9 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 10- Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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 E-mail: info@alumascfacades.com

Drawing title:

**Silkolitt Pro EWI System
 Parapet Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-701

Scale:

NTS

Revision:

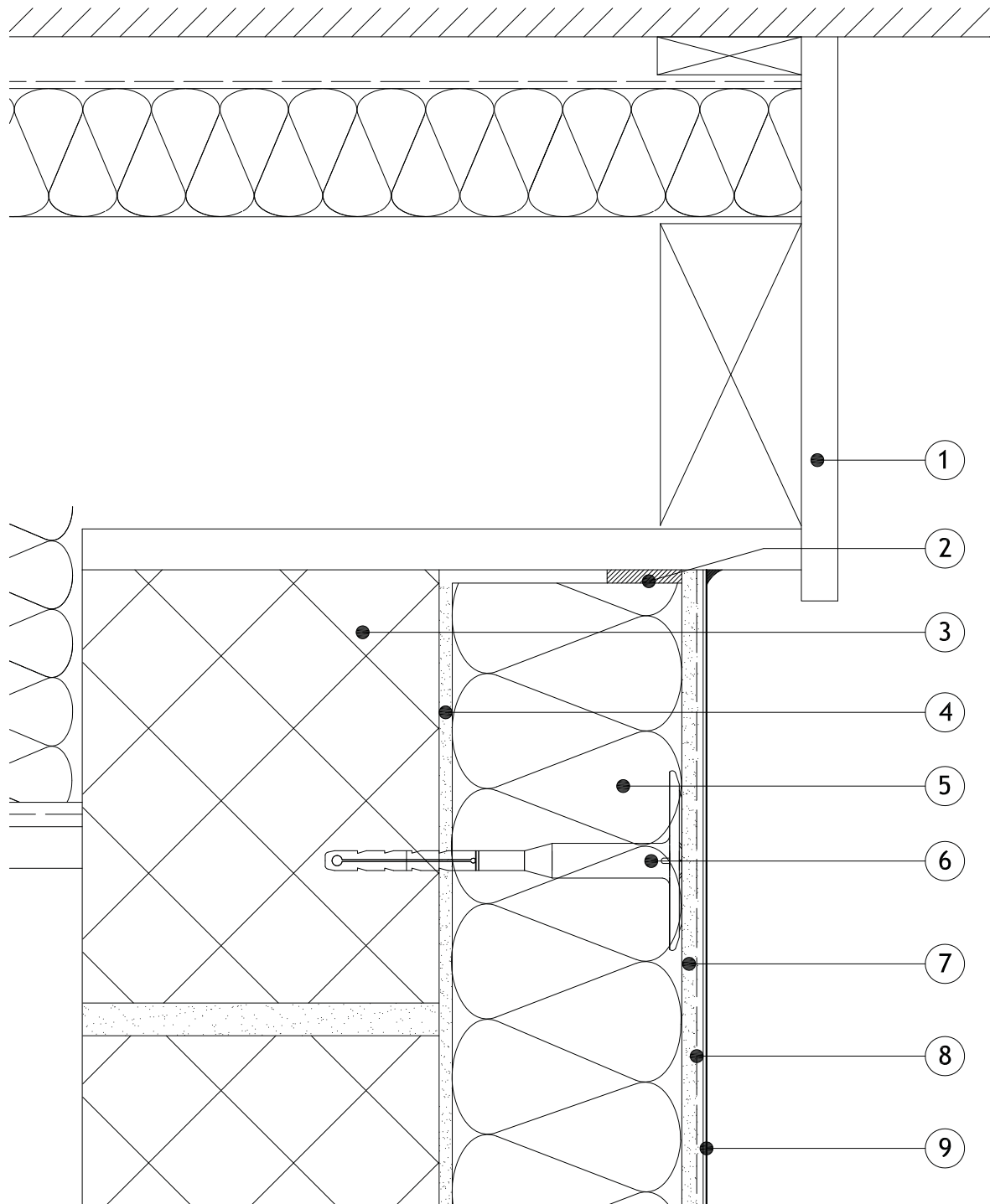
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Roof detail
- 2 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
Extended/Overhanging Verge Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-702

Scale:

NTS

Revision:

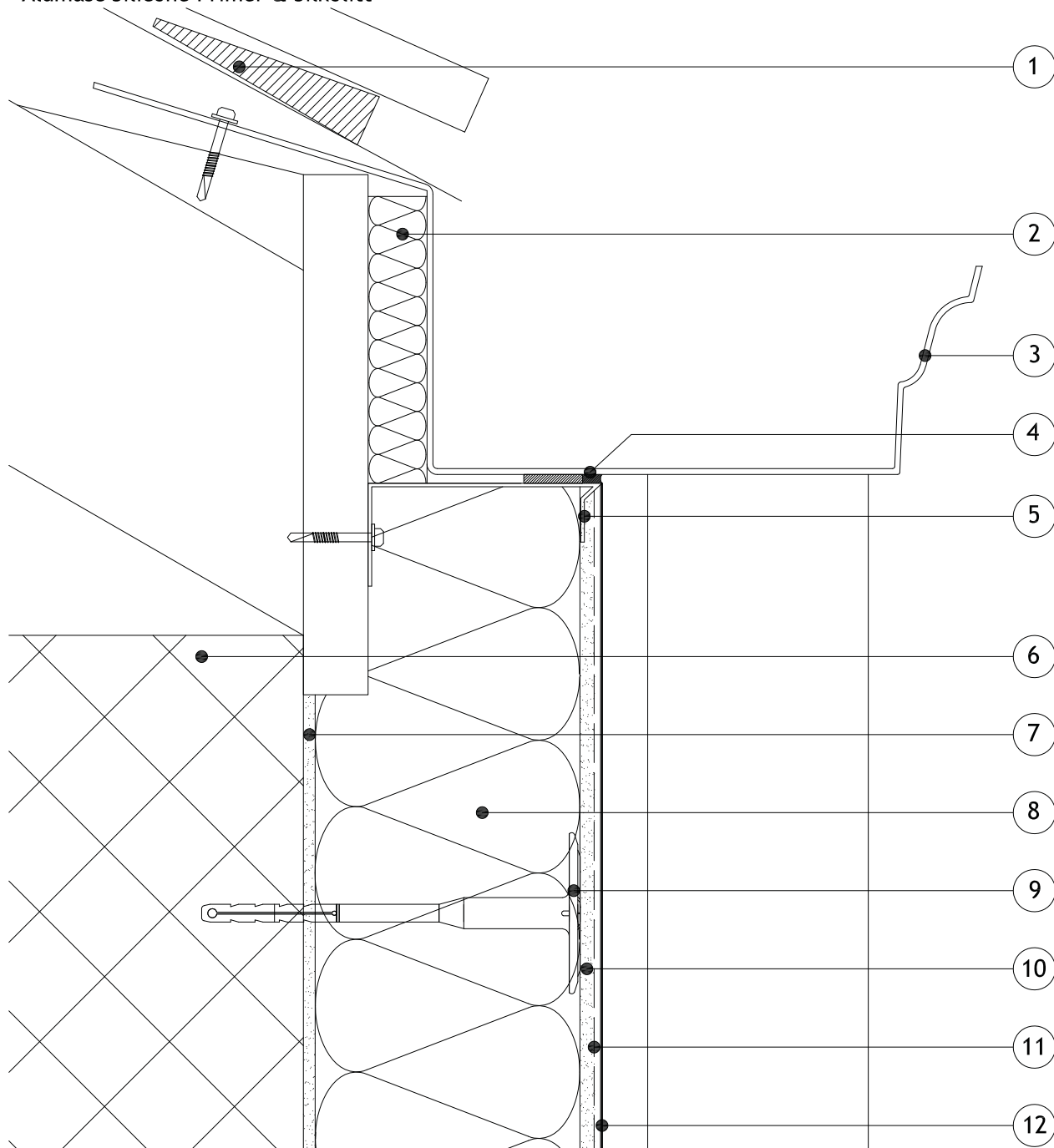
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Smart Vent required if roof is to be ventilated (see manufacturers instructions)
- 2 - 20mm Insulation behind gutter to aid cold bridging
- 3 - Alumasc Moulded Ogee Gutter
- 4 - Alumasc Sealing Tape with Low Modulus Silicone Sealant (as per specification)
- 5 - Alumasc Inverted Stop Bead (as per specification)
- 6 - Masonry Structure
- 7 - M.R. Bedding Adhesive (if required, please refer to specification)
- 8 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 9 - Alumasc Approved Mechanical fixing (as per specification)
- 10 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 11 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 12 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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 E-mail: info@alumascfacades.com

Drawing title:

Silkolitt Pro EWI System
 EWI Gutter Detail

Detail is valid only when approved by the Architect / Contractor concerned

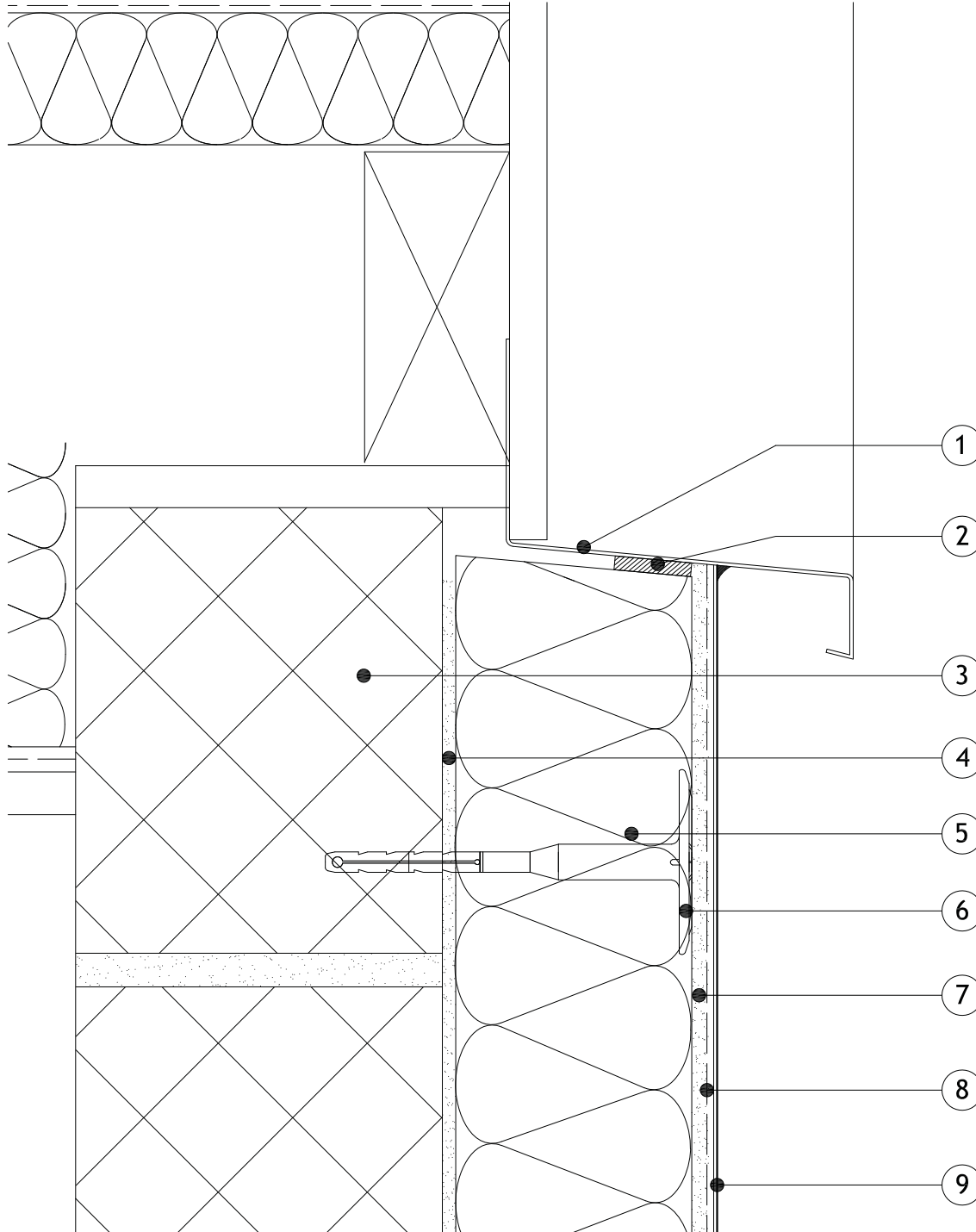
Drawing No:
 S-PRO-M-703

Scale:
 NTS

Revision:

Date:
 01.08.2017

- 1 - Alumasc Verge Trim with upstand back leg (as per specification)
- 2 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 3 - Masonry Structure
- 4 - M.R. Bedding Adhesive (if required, please refer to specification)
- 5 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 6 - Alumasc Approved Mechanical fixing (as per specification)
- 7 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 8 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-702 for best practice.



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Drawing title:

**Sikolitt Pro EWI System
 Verge Trim Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-704

Scale:

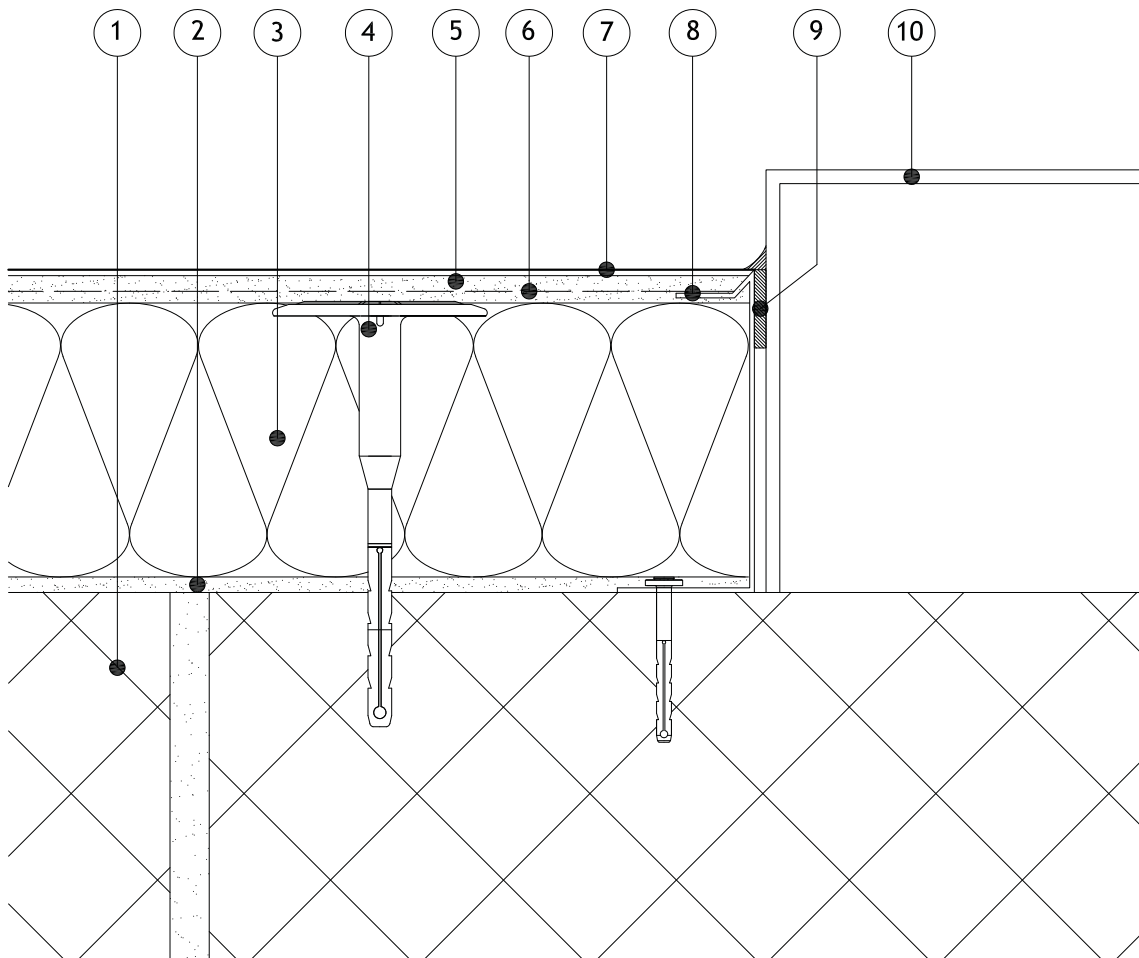
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc System Stop Bead (as per specification)
- 9 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 10- Gas Box/Abutment



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-804 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Abutment Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-800

Scale:

NTS

Revision:

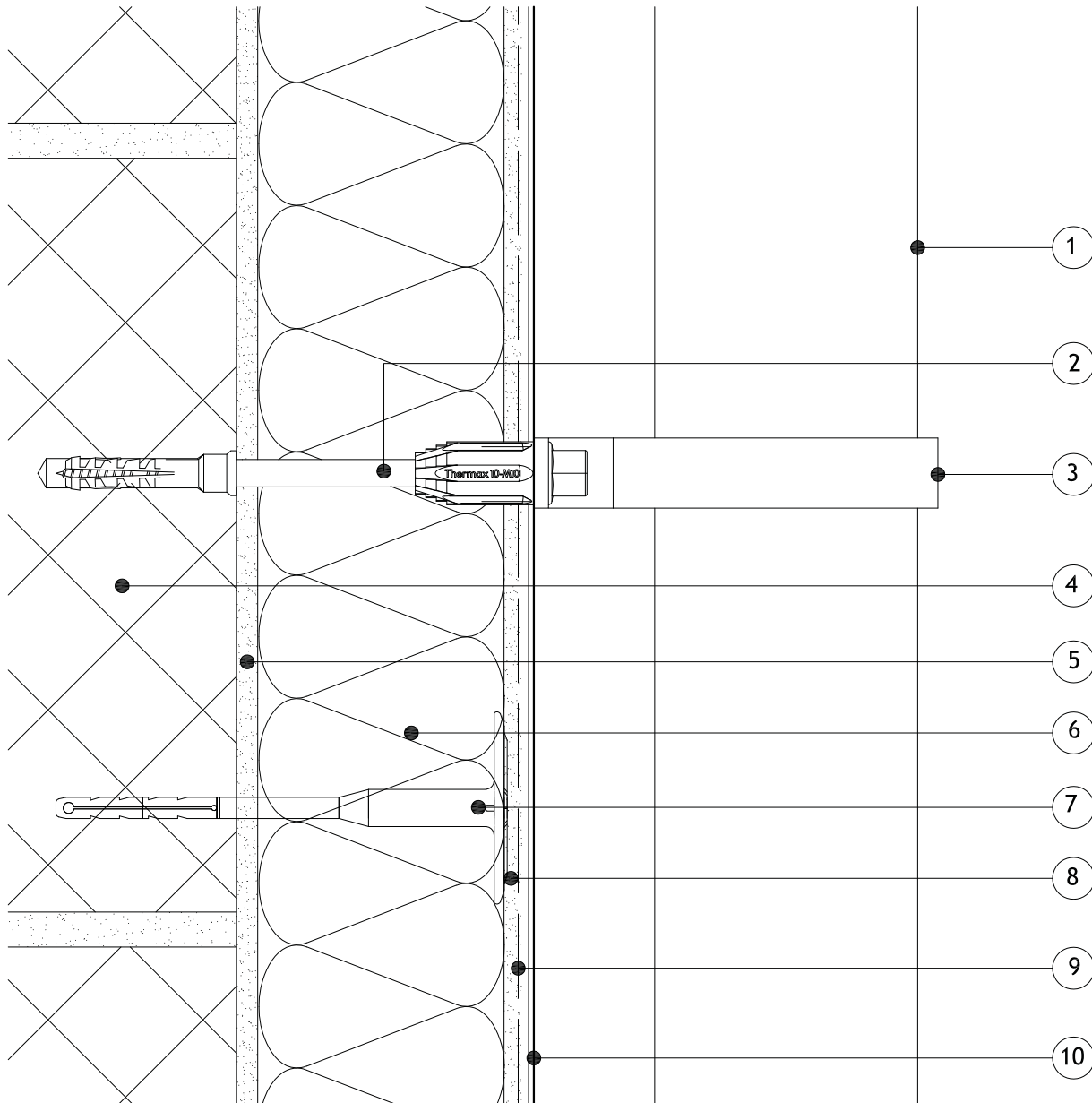
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - External attachment (rainwater goods/satellite dish)
- 2 - Approved mechanical fixing (as per specification)
- 3 - Connecting bracket
- 4 - Masonry Structure
- 5 - M.R. Bedding Adhesive (if required, please refer to specification)
- 6 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 7 - Alumasc Approved Mechanical fixing (as per specification)
- 8 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 9 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 10 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System
External Attachment Fixing Detail

Detail is valid only when approved by the Architect / Contractor concerned

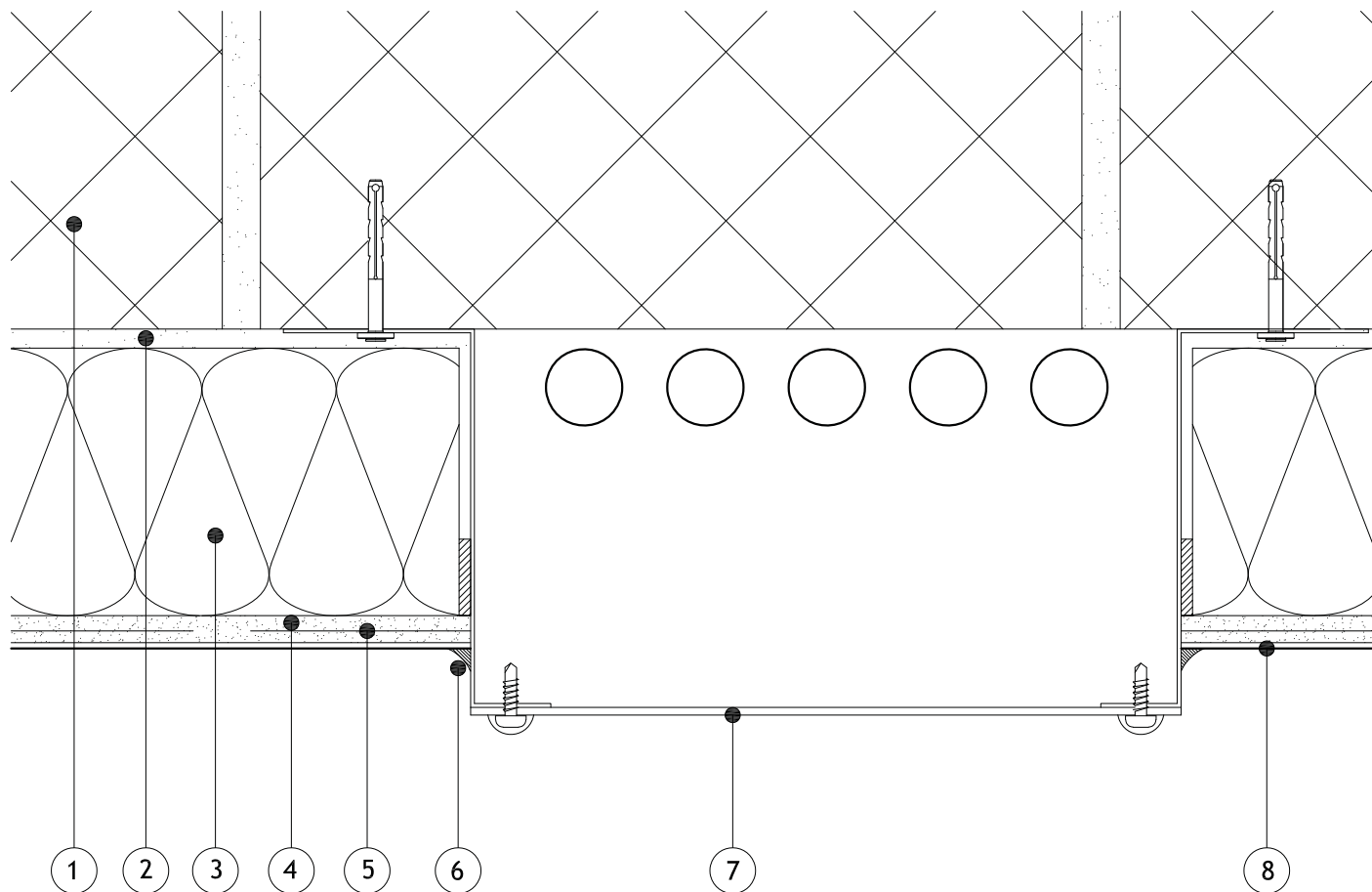
Drawing No:
S-PRO-M-801

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 5 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 6 - Alumasc Low Modulus Silicone Sealant & Alumasc Sealing tape
- 7 - Ducting
- 8 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge.



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Drawing title:

**Silkolitt Pro EWI System
 Trunking Detail**

Detail is valid only when approved by the Architect / Contractor concerned

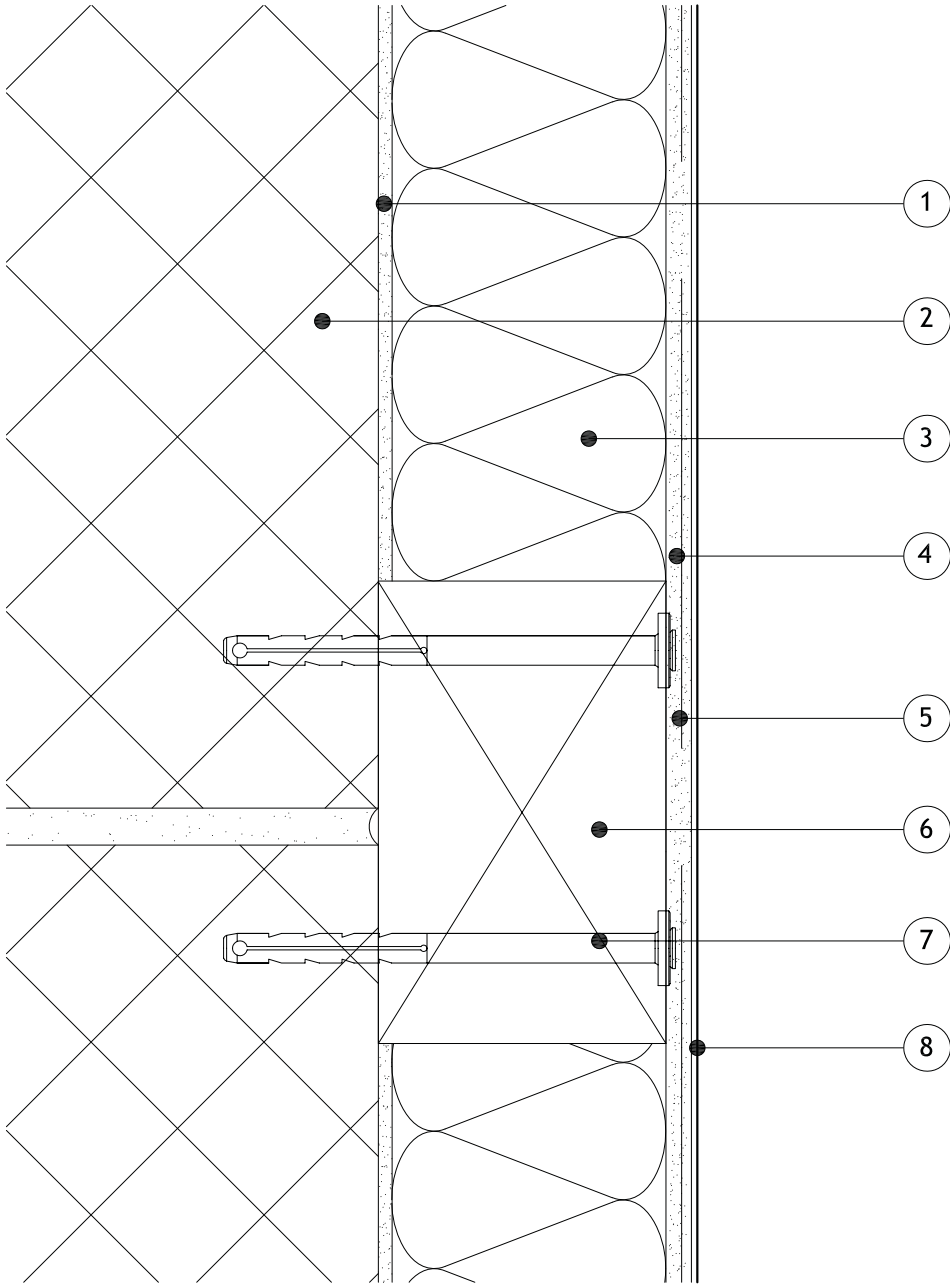
Drawing No:
S-PRO-M-802

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 5 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 6 - Timber Patress
- 7 - Alumasc Silicone Primer & Silkolitt



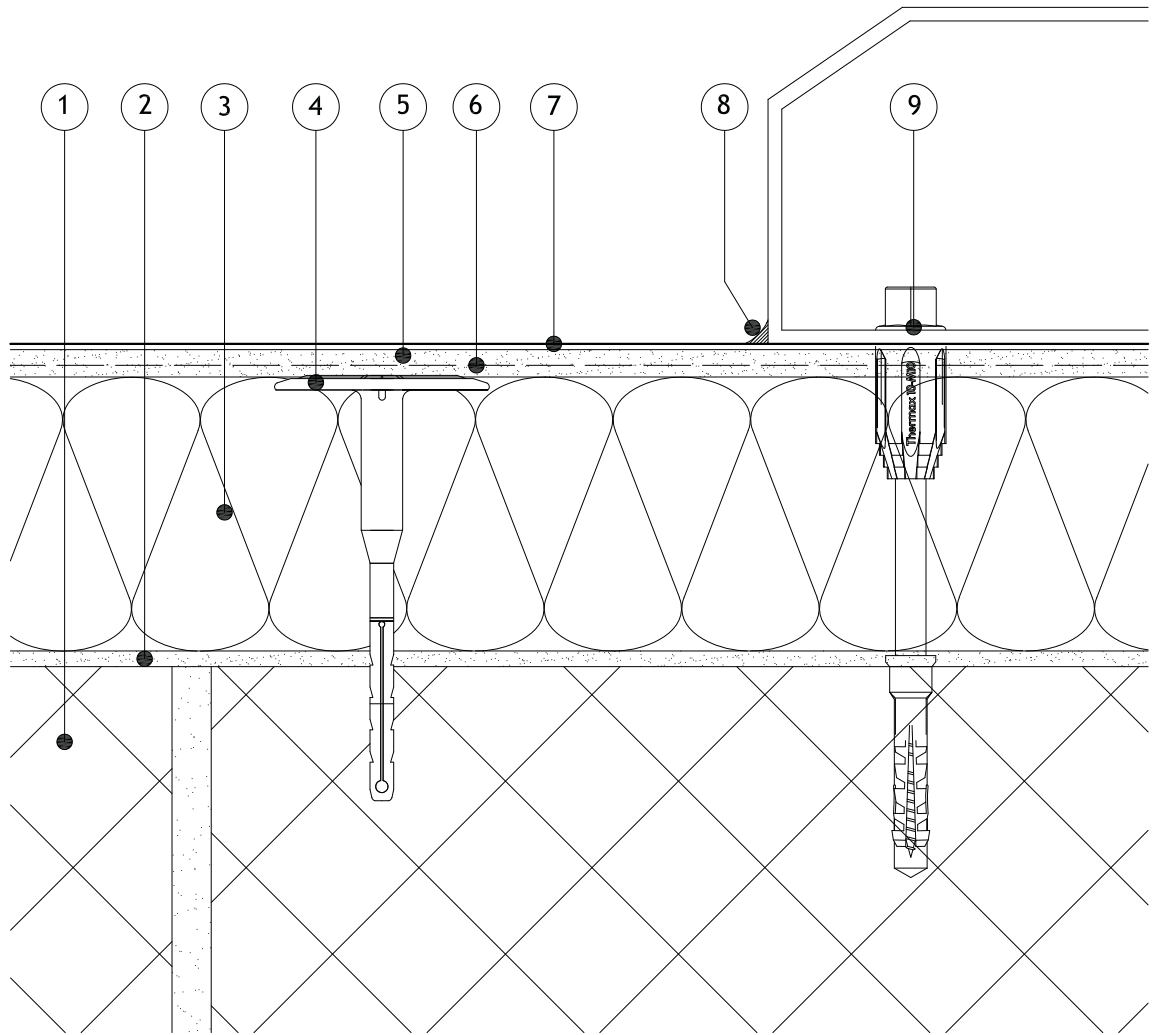
Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

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	Drawing No: S-PRO-M-803		Scale: NTS	
	Revision:		Date: 01.08.2017	

Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Low Modulus Silicone Sealant
- 9 - Gas Box/Abutment surface mounted and mechanically fixed (as per specification)



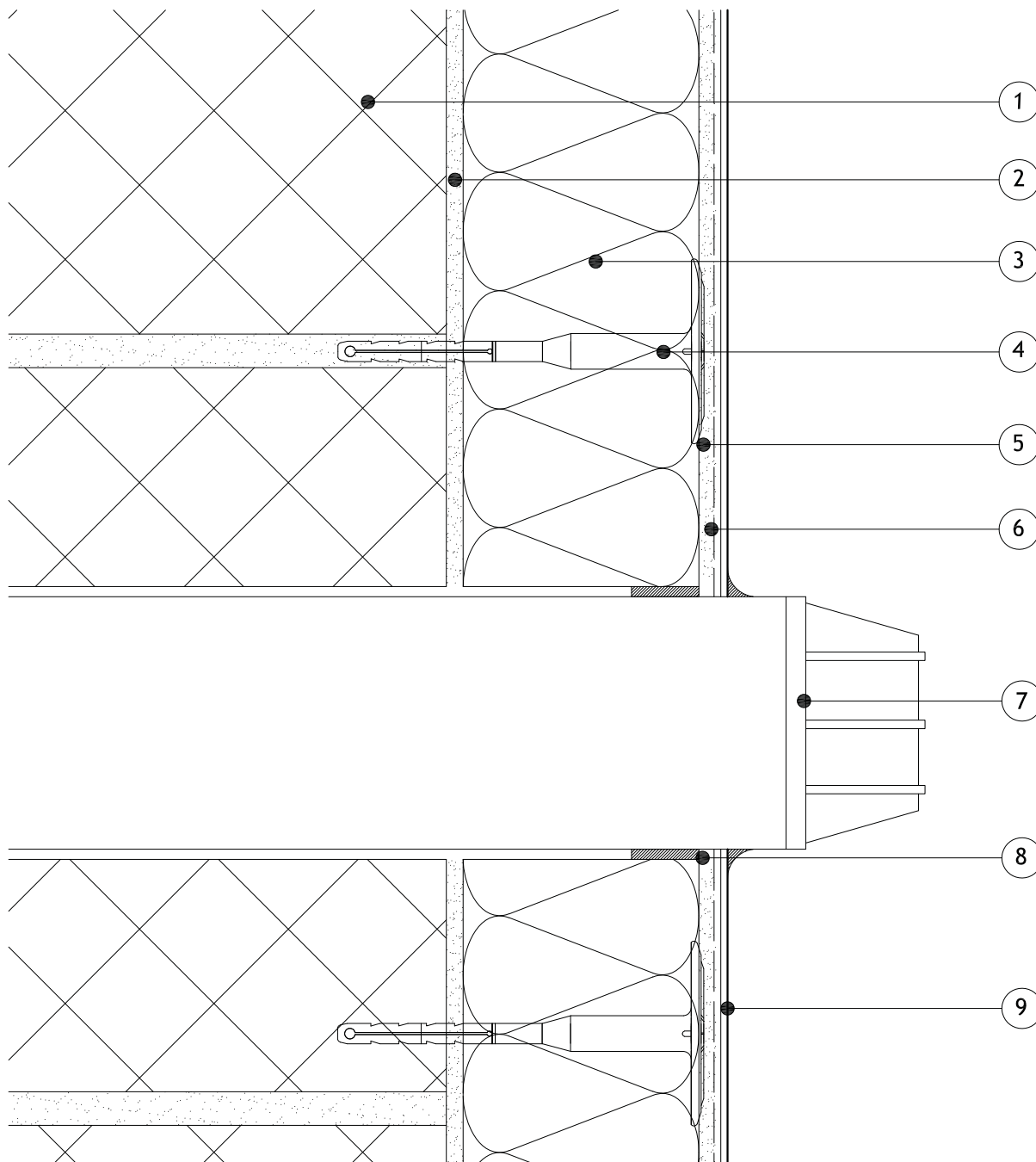
Notes:-

- 1. Refer to Alumasc Facades for technical assistance regarding specification.

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	Drawing No: S-PRO-M-804		Scale: NTS	
	Revision:		Date: 01.08.2017	

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Pipe penetration
- 8 - Alumasc Sealing tape & Alumasc Low Modulus Silicone Sealant
- 9 - Alumasc Silicone Primer & Silkolitt



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Pipe/Service Penetration Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-805

Scale:

NTS

Revision:

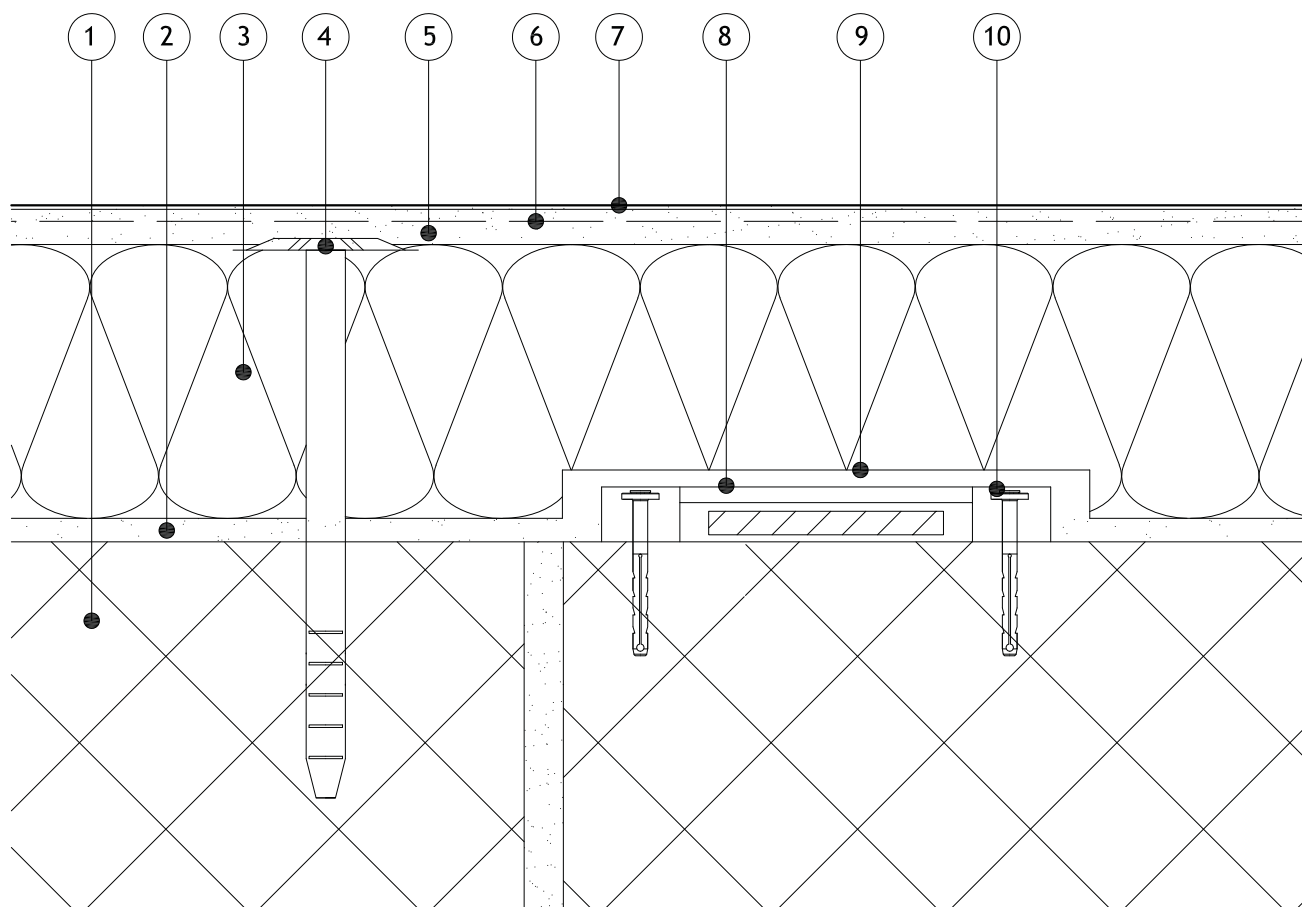
Date:

01.08.2017

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- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Lightning Conductor mechanically fixed back to the substrate
- 9 - Insulation board notched out with a 10mm gap around conductor and brick-bonded over lightning conductor min. 200mm
- 10 - Approved mechanical fixing (as per specification)



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Lightning Conductor Detail**

Detail is valid only when approved by the Architect / Contractor concerned

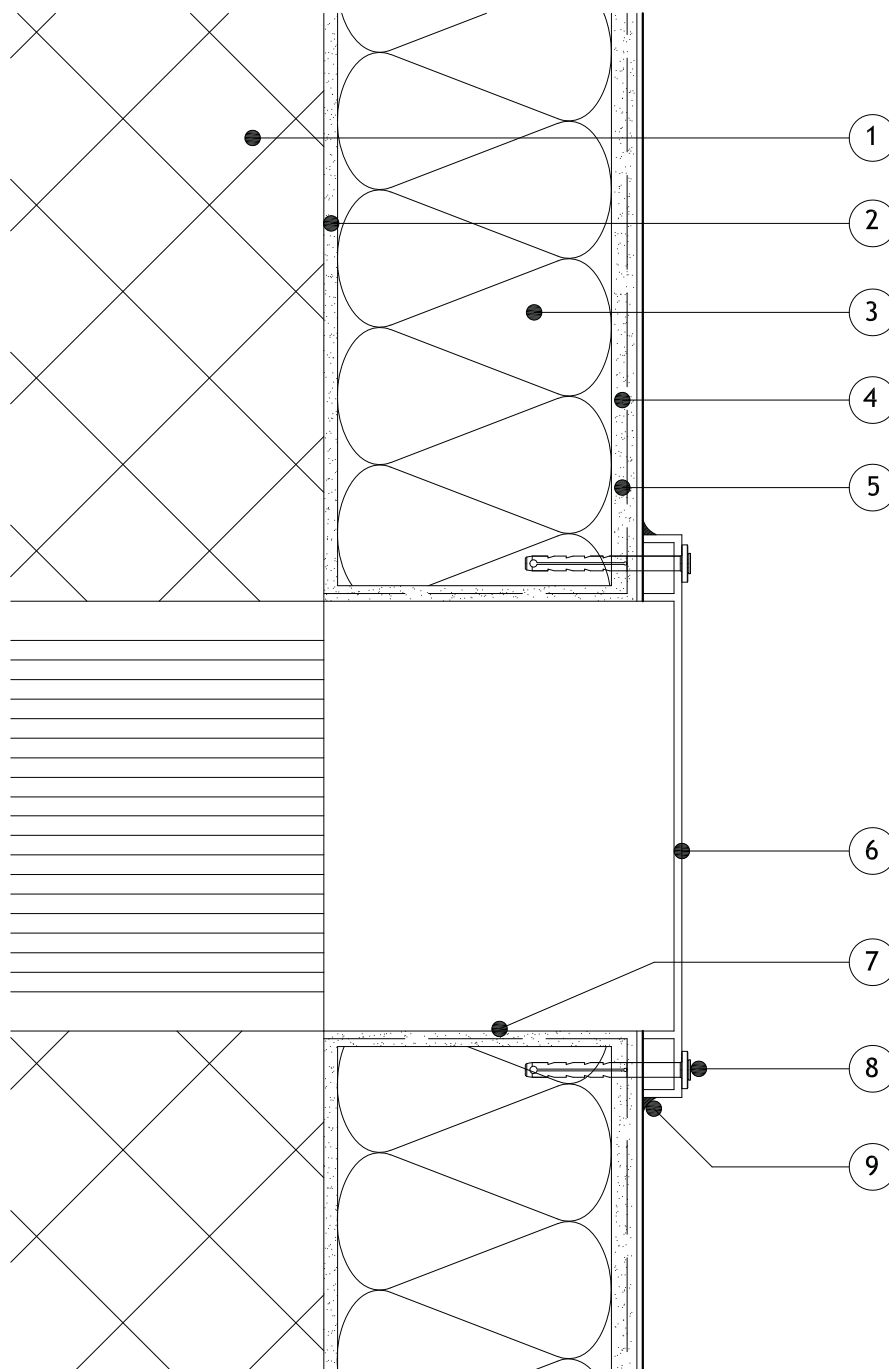
Drawing No:
S-PRO-M-806

Scale:
NTS

Revision:

Date:
01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 5 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 6 - Air Vent positioned over existing bedded onto Alumasc Low Modulus Silicone Sealant and fixed through the system
- 7 - Alumasc Base Coat and Scrim Reinforcement returned into the reveals of the air vent
- 8 - Approved mechanical fixing (as per specification)
- 9 - Alumasc Low Modulus Silicone Sealant



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

**Silkolitt Pro EWI System
 Vent Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-807

Scale:

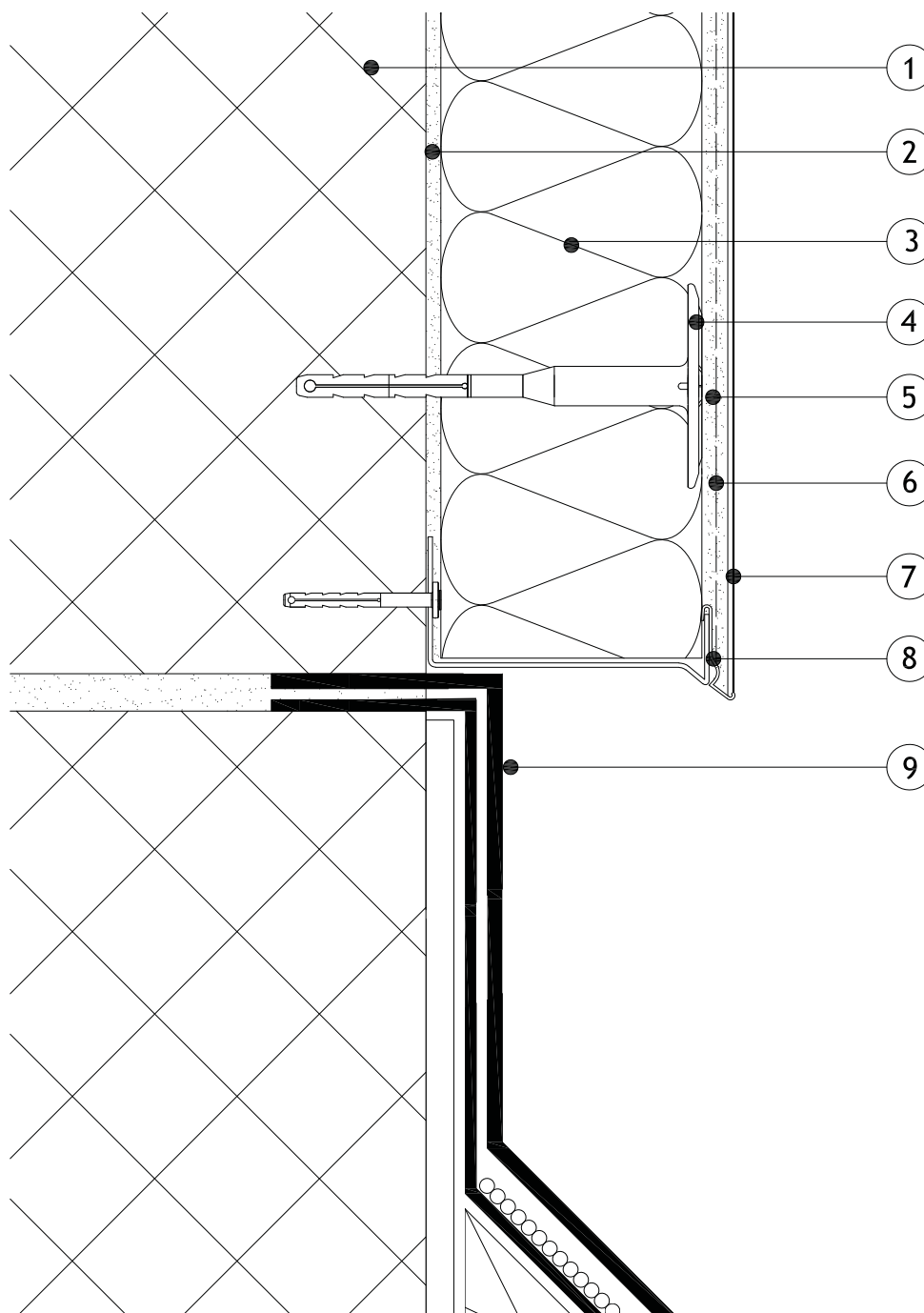
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Existing Roof detail



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.
2. Please be aware that this detail creates a potential cold bridge. Refer to detail S-PRO-M-809 for best practice.



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Drawing title:

**Silkolitt Pro EWI System
 Roof Abutment Detail**

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-808

Scale:

NTS

Revision:

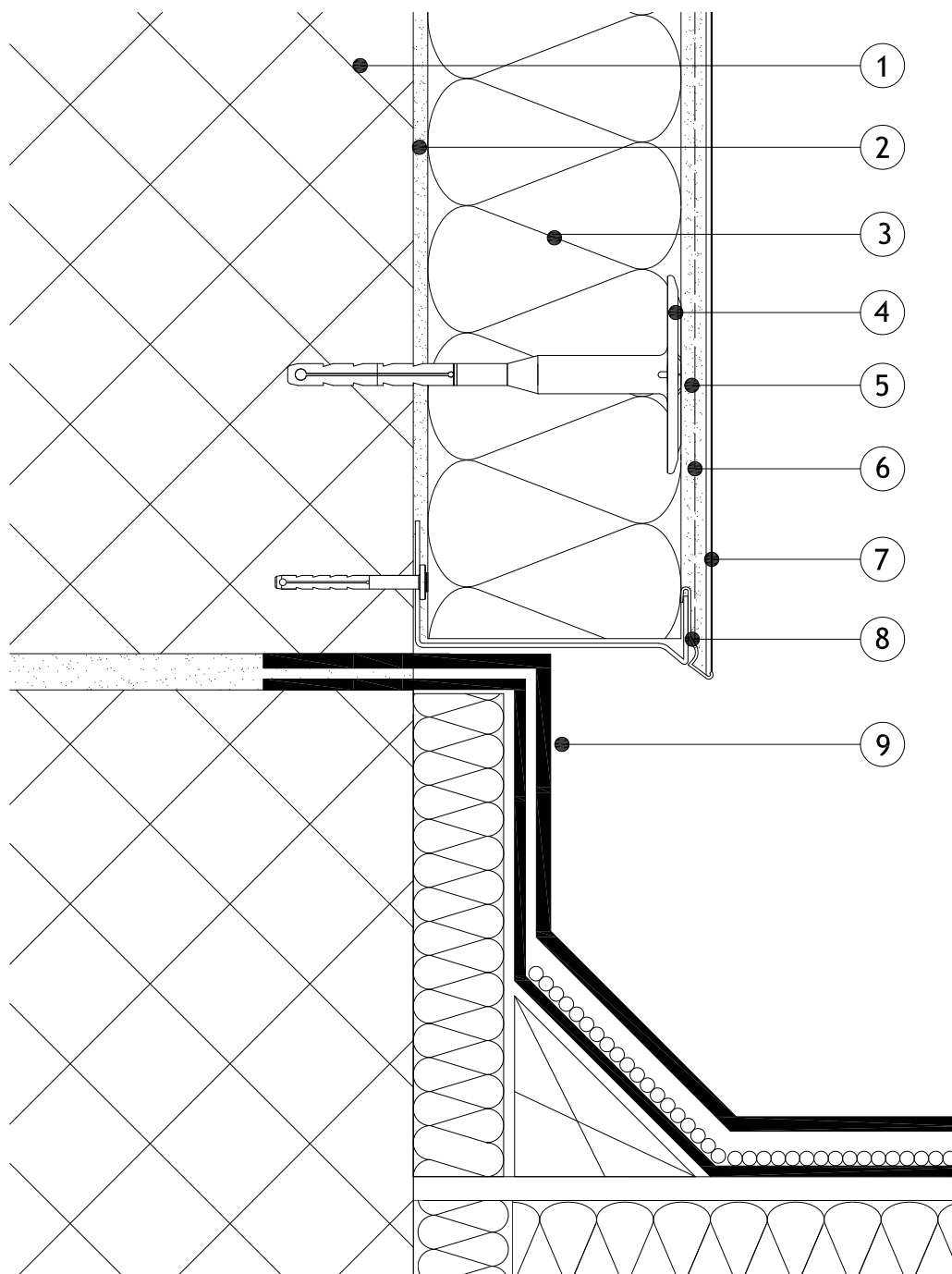
Date:

01.08.2017

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Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 7 - Alumasc Silicone Primer & Silkolitt
- 8 - Alumasc Base Track with Base Track Clip (as per specification)
- 9 - Existing Insulated Roof detail



Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.



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Drawing title:

Silkolitt Pro EWI System Roof Abutment Detail

Detail is valid only when approved by the Architect / Contractor concerned

Drawing No:

S-PRO-M-809

Scale:

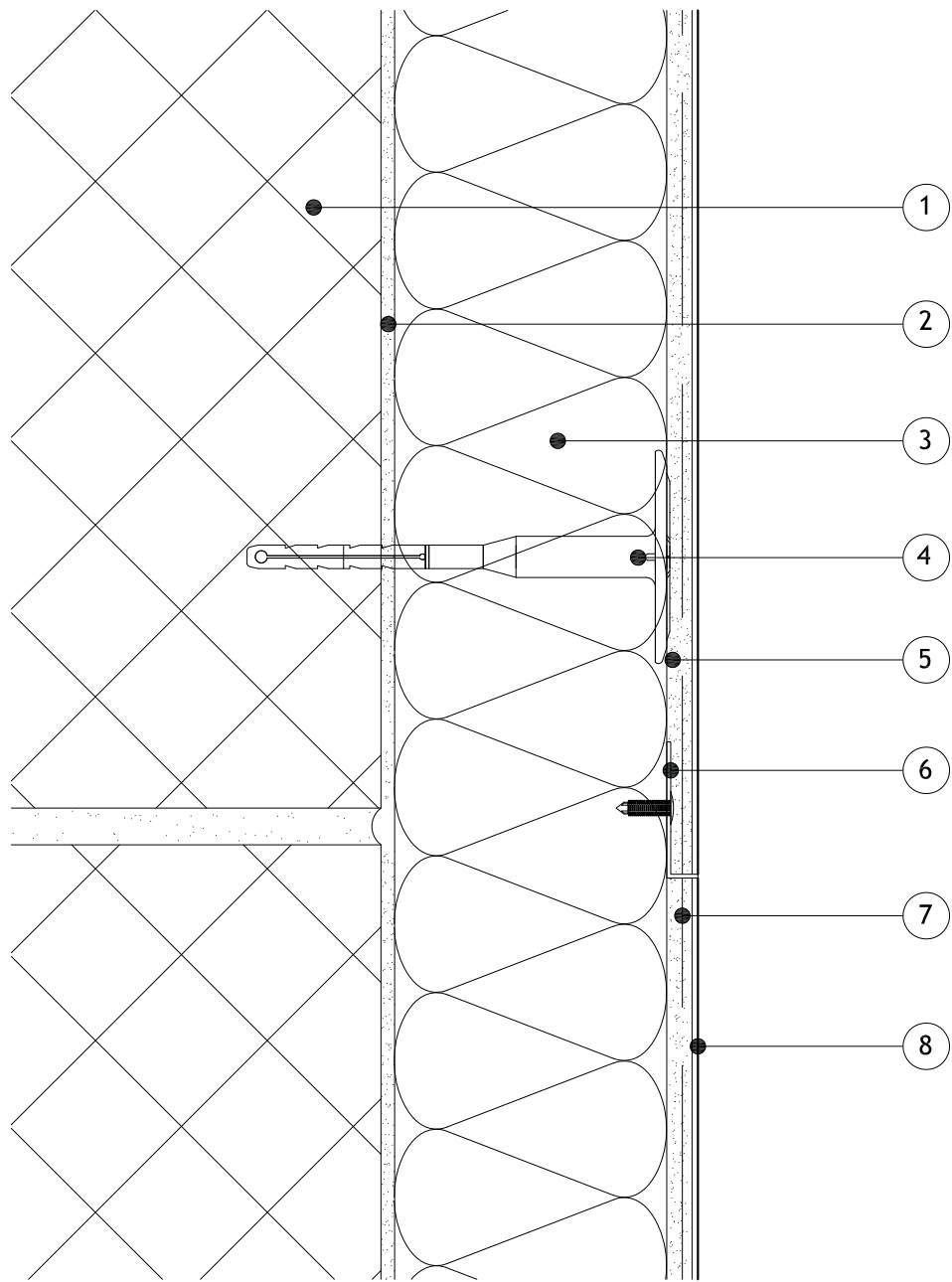
NTS

Revision:

Date:

01.08.2017

- 1 - Masonry Structure
- 2 - M.R. Bedding Adhesive (if required, please refer to specification)
- 3 - Alumasc Pro Dual Density Mineral Wool Insulation (as per specification)
- 4 - Alumasc Approved Mechanical fixing (as per specification)
- 5 - Alumasc Base Coat (ABC) Polymer Modified Reinforcement Render
- 6 - Alumasc PVC Stop Bead fixed with Fir Tree fixings (as per specification)
- 7 - Alumasc Scrim Reinforcement bedded into the top third of Alumasc Base Coat
- 8 - Alumasc Silicone Primer & Silkolitt



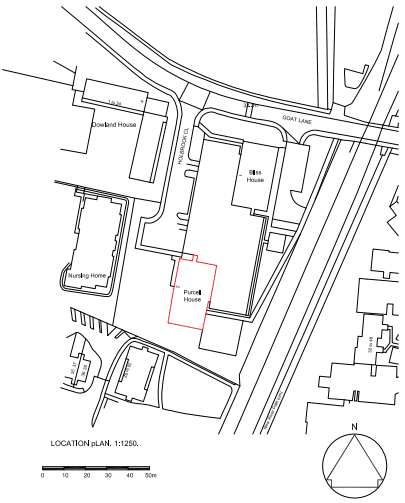
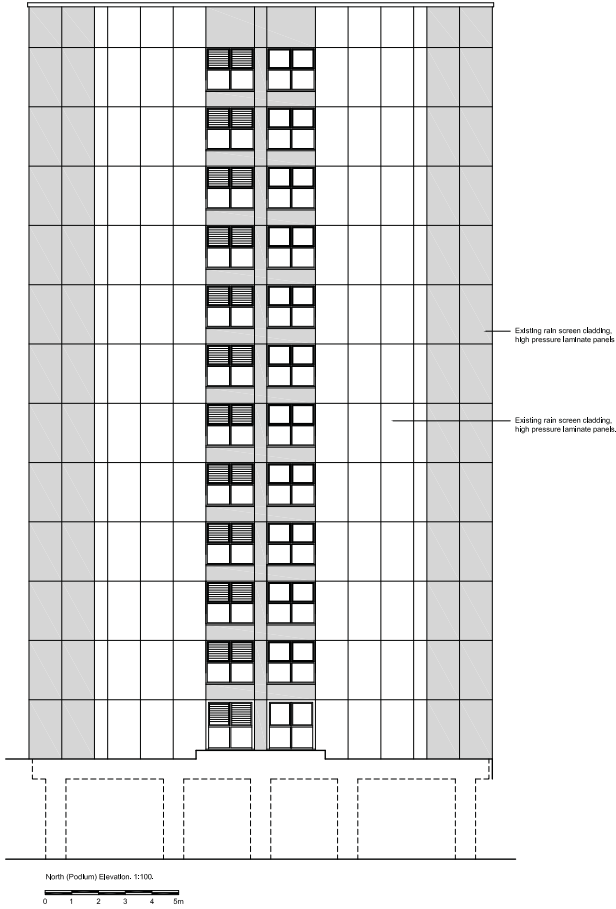
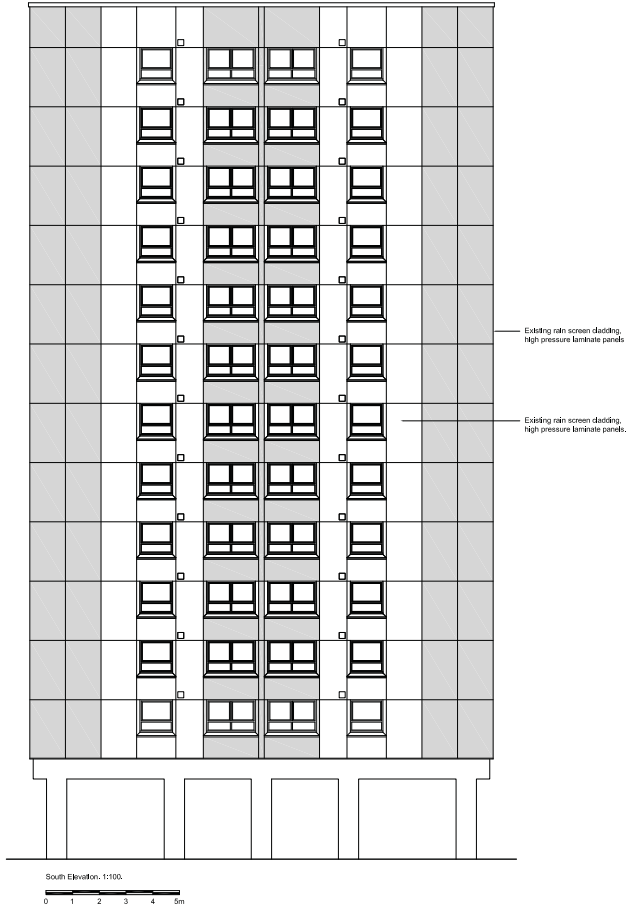
Notes:-

1. Refer to Alumasc Facades for technical assistance regarding specification.

	ALUMASC EXTERIOR BUILDING PRODUCTS LTD White House Works, Bold Road, Sutton St Helens, Merseyside, WA9 4JG, UK Telephone: +44 (0)1744 648400 Facsimile: +44 (0)1744 648401 Website: www.alumascfacades.com E-mail: info@alumascfacades.com		Drawing title: Silkolitt Pro EWI System Change in Colour Detail <small>Detail is valid only when approved by the Architect / Contractor concerned</small>	© Copyright reserved
	Drawing No: S-PRO-M-900		Scale: NTS	
	Revision:		Date: 01.08.2017	

Note: This drawing is intended to illustrate the correct application of Alumasc products only. All other elements are shown indicatively and it is not the intention to detail building construction.

1. This drawing is not to be scaled.
2. All discrepancies, errors or omissions to be reported prior to work commencing.
3. All dimensions to be checked on site prior to work commencing.
4. All materials, components and workmanship to comply with relevant British Standards, Codes of Practice and appropriate manufacturers recommendations applicable at the time.
5. For specialist works see relevant consultants/suppliers drawings.



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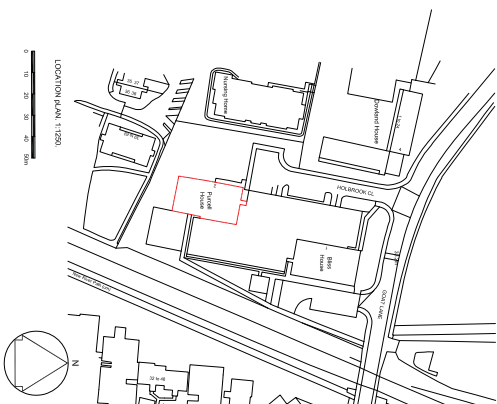
Conquest House
Church St, Waltham Abbey
EN8 1DX

client
ENFIELD COUNCIL
Silver Street, Enfield, EN1 3JA

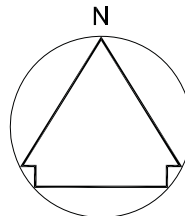
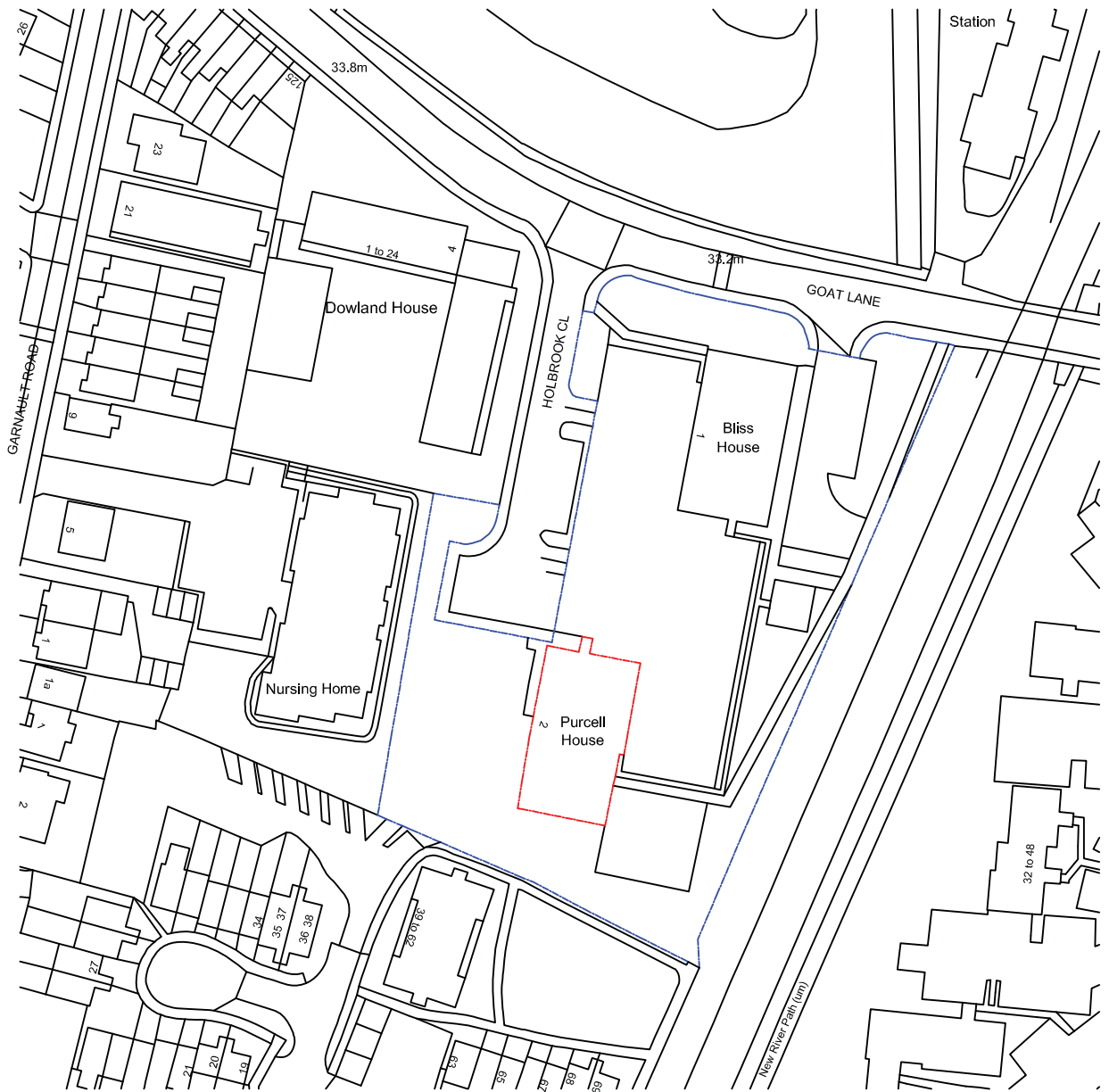
project
External Refurbishment Works.
1-72 Purcell House, 2 Holbrook Close, Enfield, EN1 4UH

drawing title
EXISTING ELEVATIONS.

date March 2019.	scale 1:100@A1	dwn db
drawing number EC/PH/002.	sheet no. 1 of 1	rev -



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